

ATTACHMENT H
Project Plans



SHEET INDEX

A-1	UNIT PLANS
A-2	BLDG A COMPOSITE
A-3	BLDG B COMPOSITE

SAN MARCOS, CA

HALL LAND COMPANY INC.
740 Lomas Santa Fe Dr. Ste 204
Solana Beach, CA 92075
858.481.3310

MISSION 24

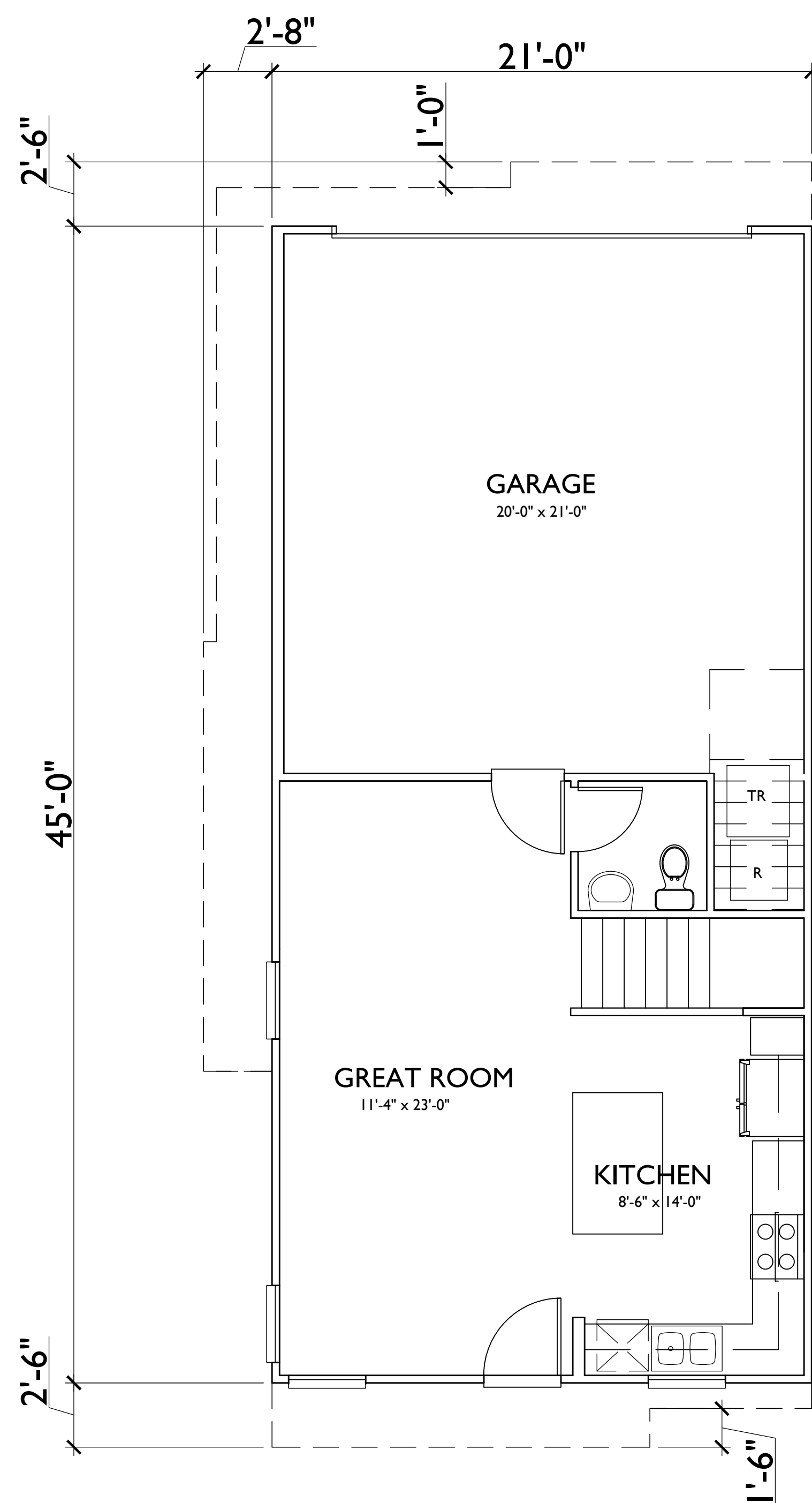
DECEMBER 17, 2018

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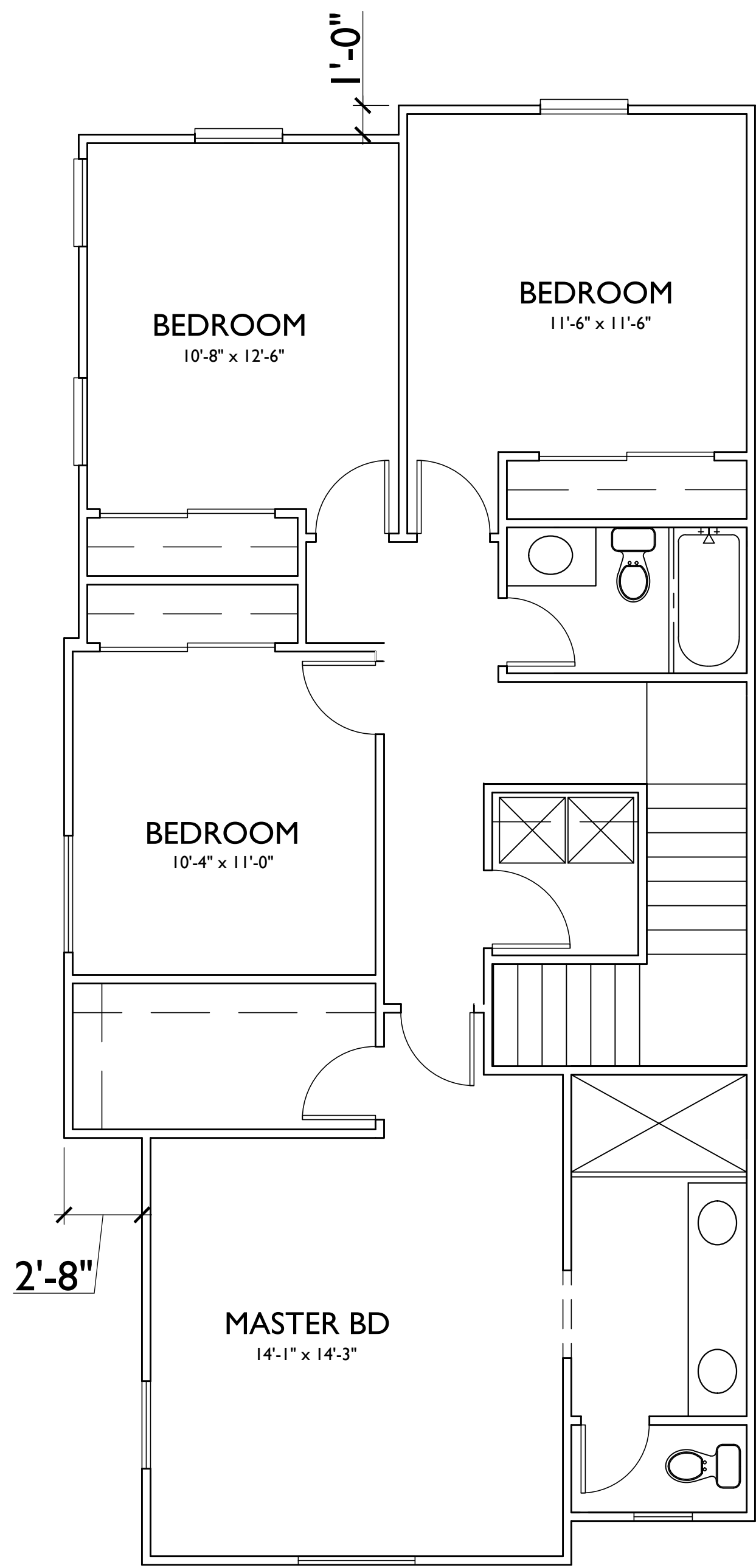
COVER SHEET



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

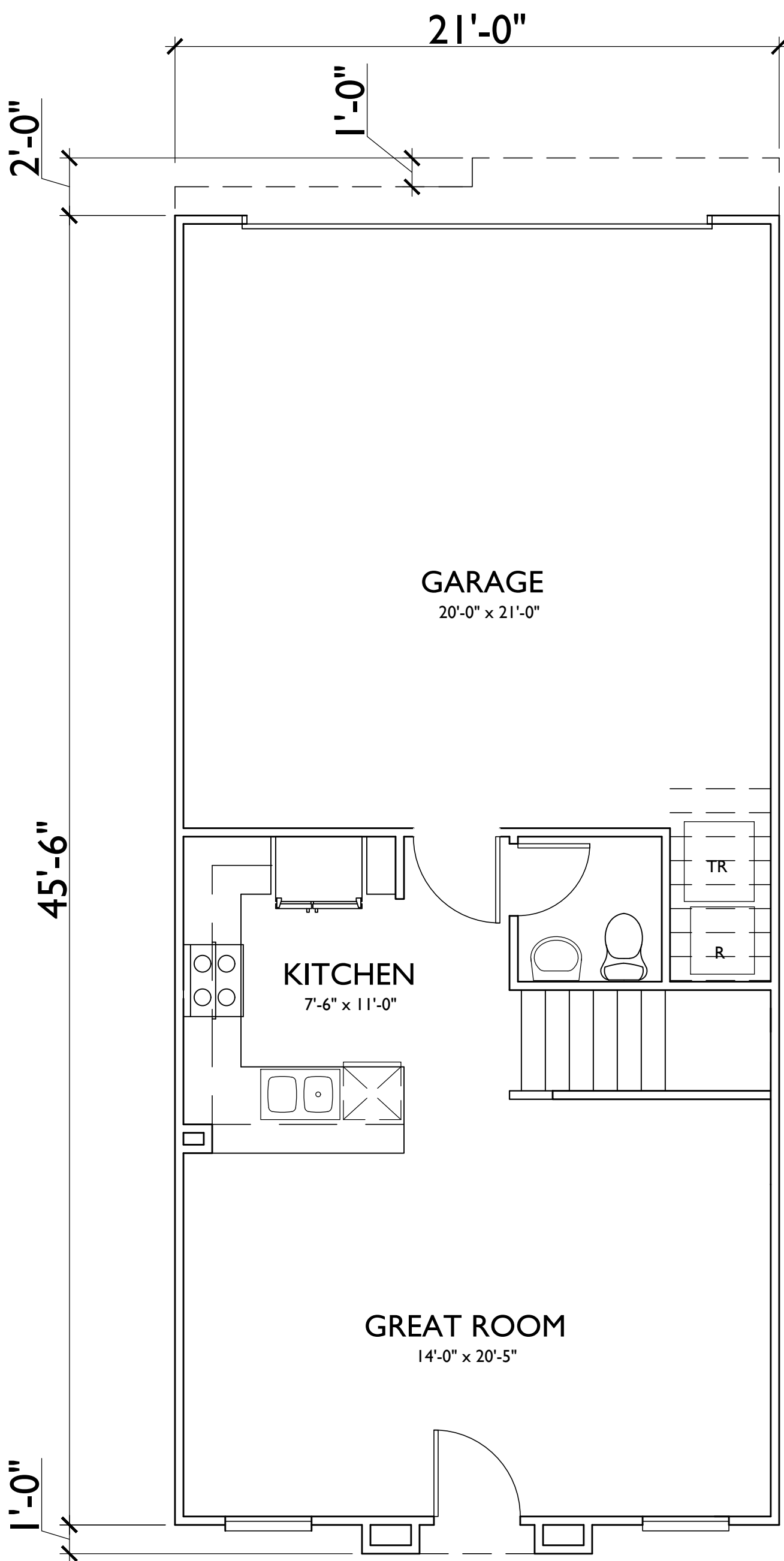
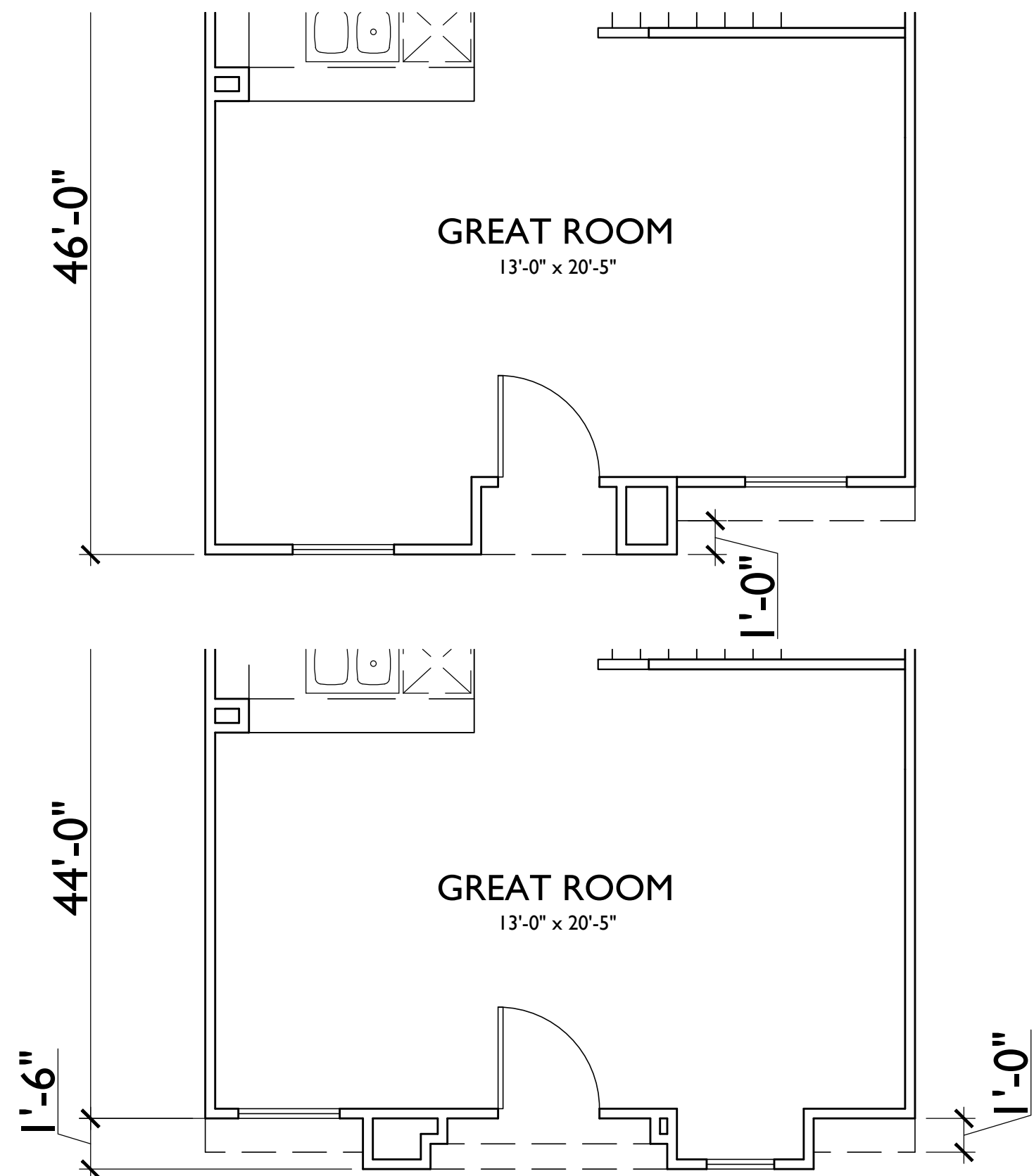


FIRST FLOOR
EXTERIOR UNIT PLAN

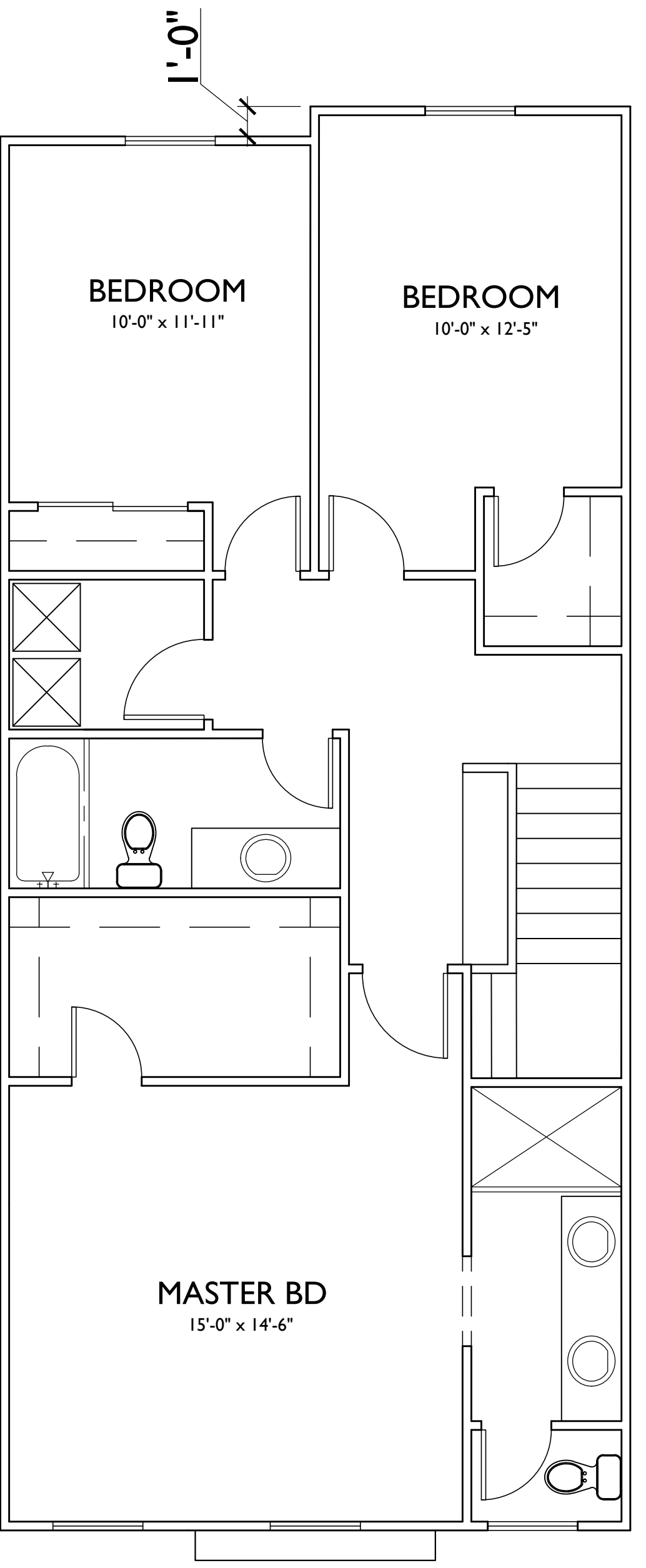
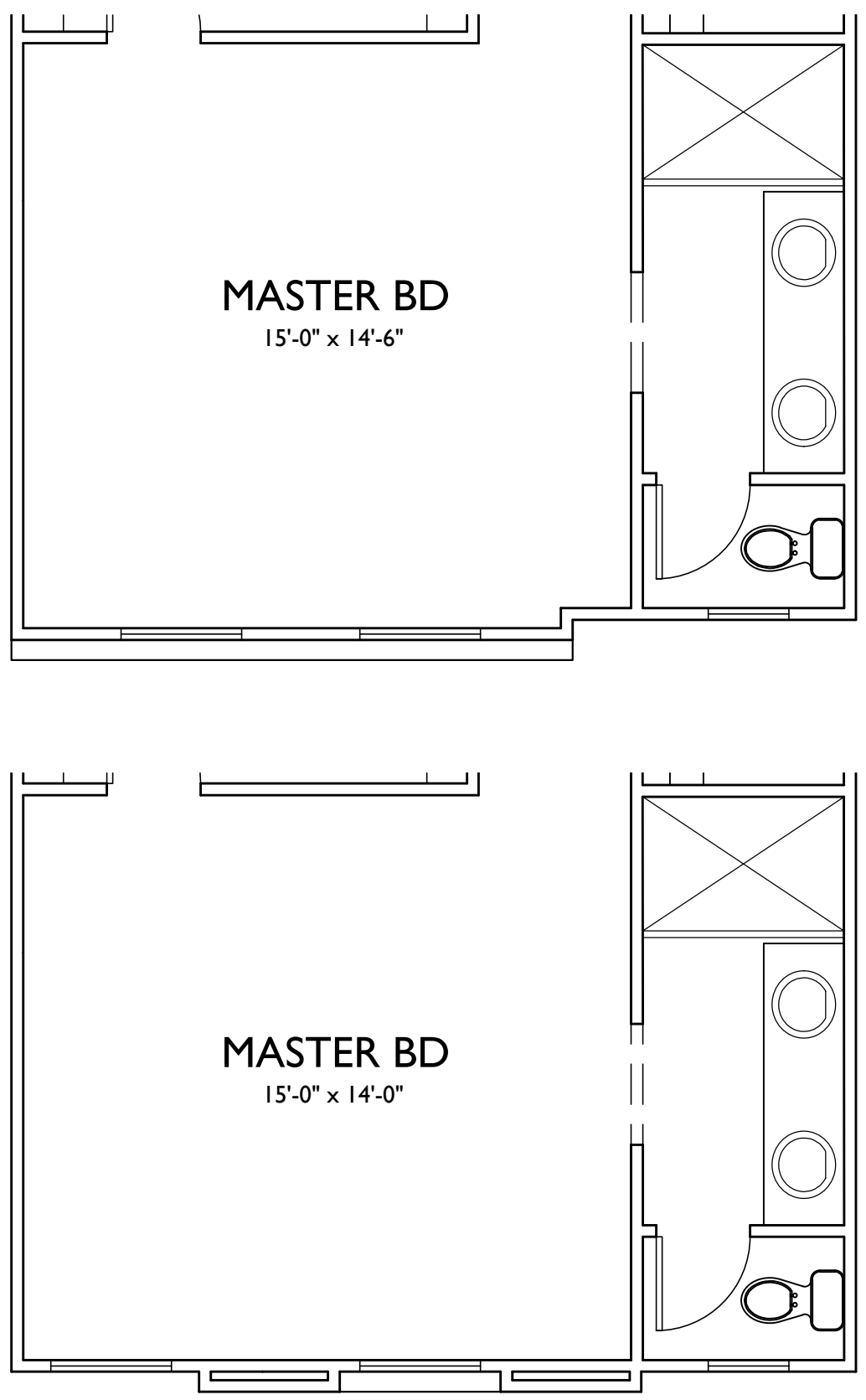


SECOND FLOOR

PLAN 2:	4BD/2.5BA
1ST FLR -	475 S.F.
2ND FLR-	1,115 S.F.
TOTAL	1,590 S.F.



FIRST FLOOR
INTERIOR UNIT PLAN



SECOND FLOOR

PLAN 1C:	3BD/2.5BA
1ST FLR -	470 S.F.
2ND FLR-	990 S.F.
TOTAL	1,460 S.F.

PLAN 1B:	3BD/2.5BA
1ST FLR -	465 S.F.
2ND FLR-	980 S.F.
TOTAL	1,445 S.F.

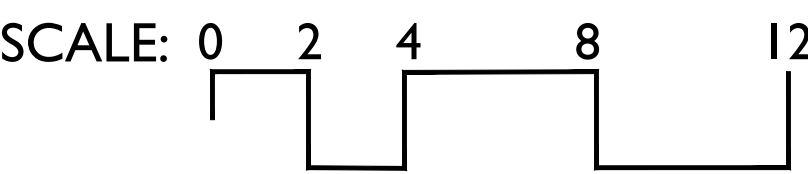
PLAN 1A:	3BD/2.5BA
1ST FLR -	480 S.F.
2ND FLR-	980 S.F.
TOTAL	1,460 S.F.

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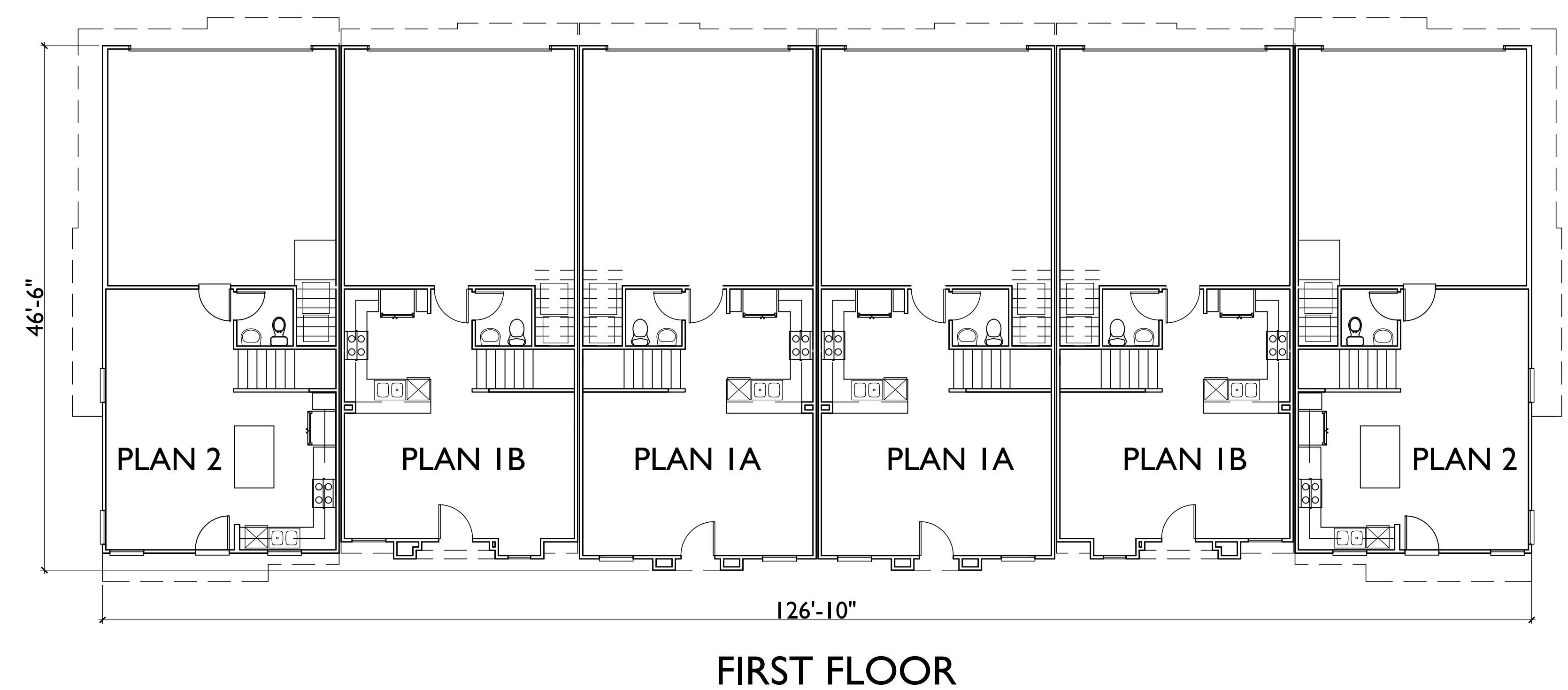
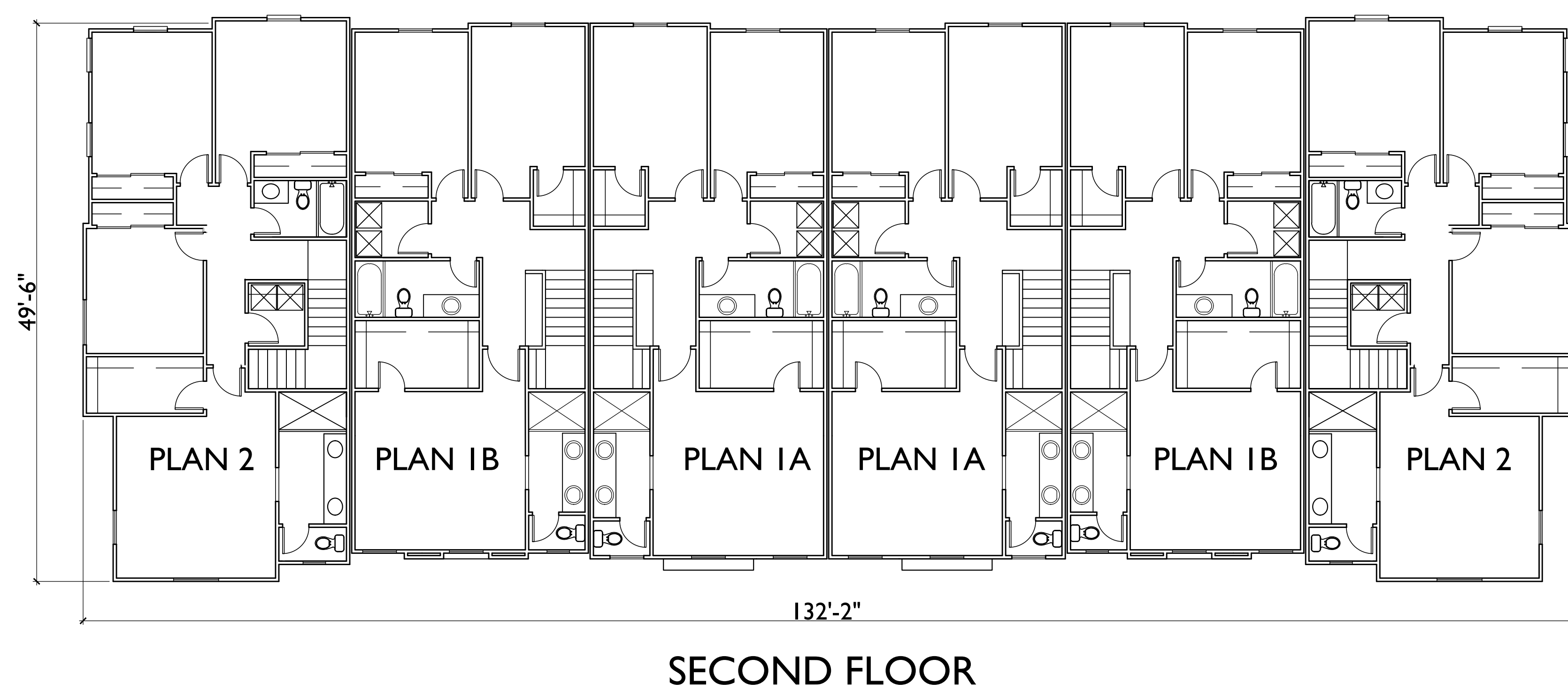
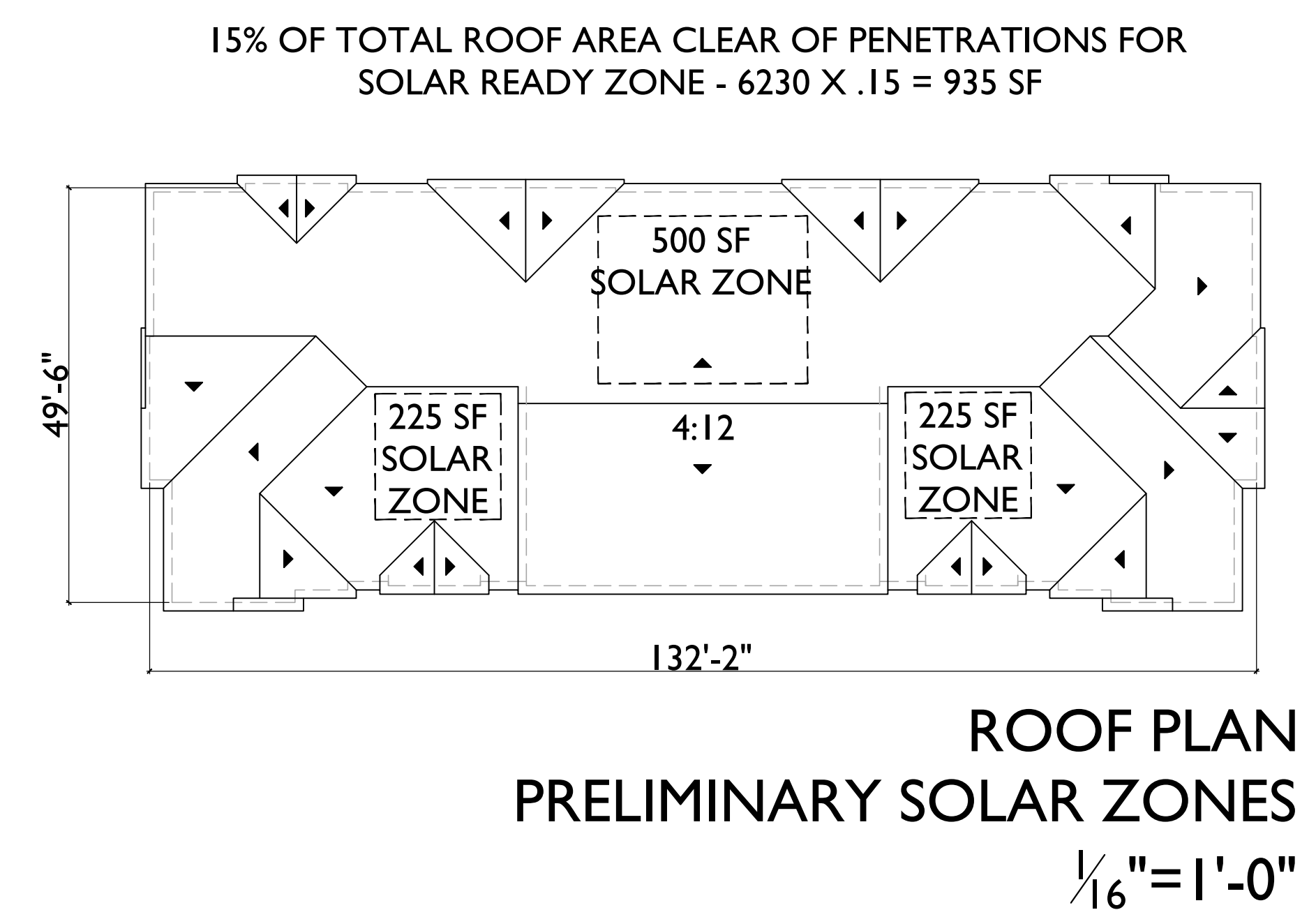
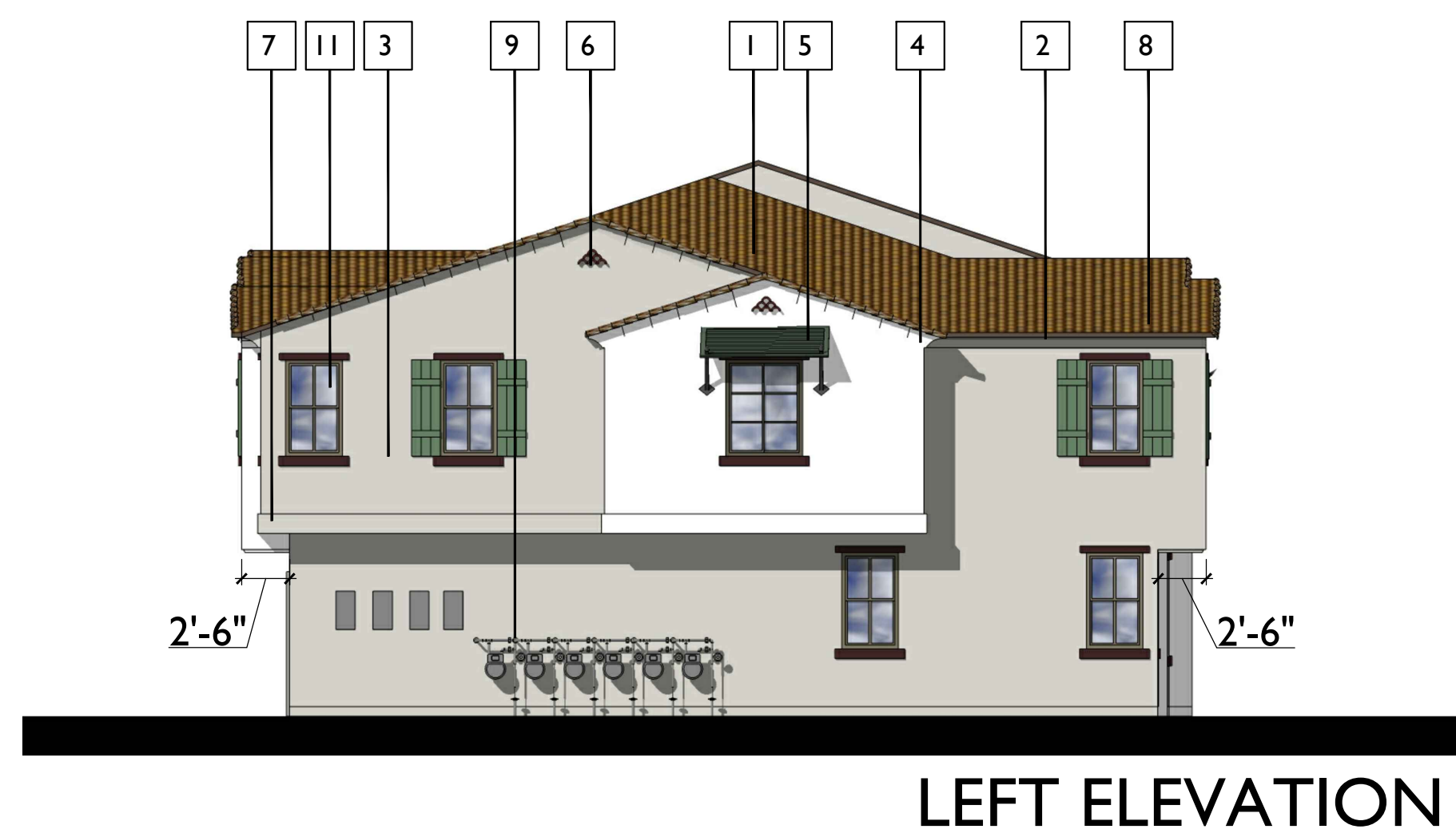
CONCEPTUAL FLOOR PLANS



5256 S. Mission Road, Ste 404
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- ELEVATION NOTES**
- 1 CLASS 'A' S-TILE ROOFING
 - 2 2x WOOD FASCIA
 - 3 EXTERIOR PLASTER CEMENT
 - 4 FOAM CORNICE
 - 5 ACCENT SHUTTERS/AWNINGS
 - 6 DECORATIVE GABLE ACCENT
 - 7 2x FOAM TRIM
 - 8 SCALLOPED GABLE
 - 9 UTILITIES
 - 10 SPANISH TILE
 - 11 VINYL WINDOW WITH TRIM
 - 12 SECTIONAL STEEL GARAGE DOOR
 - 13 SOLID CORE WOOD ENTRY DOOR

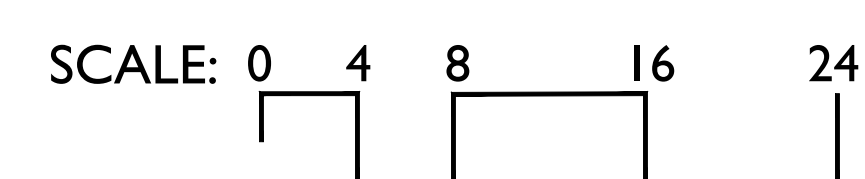


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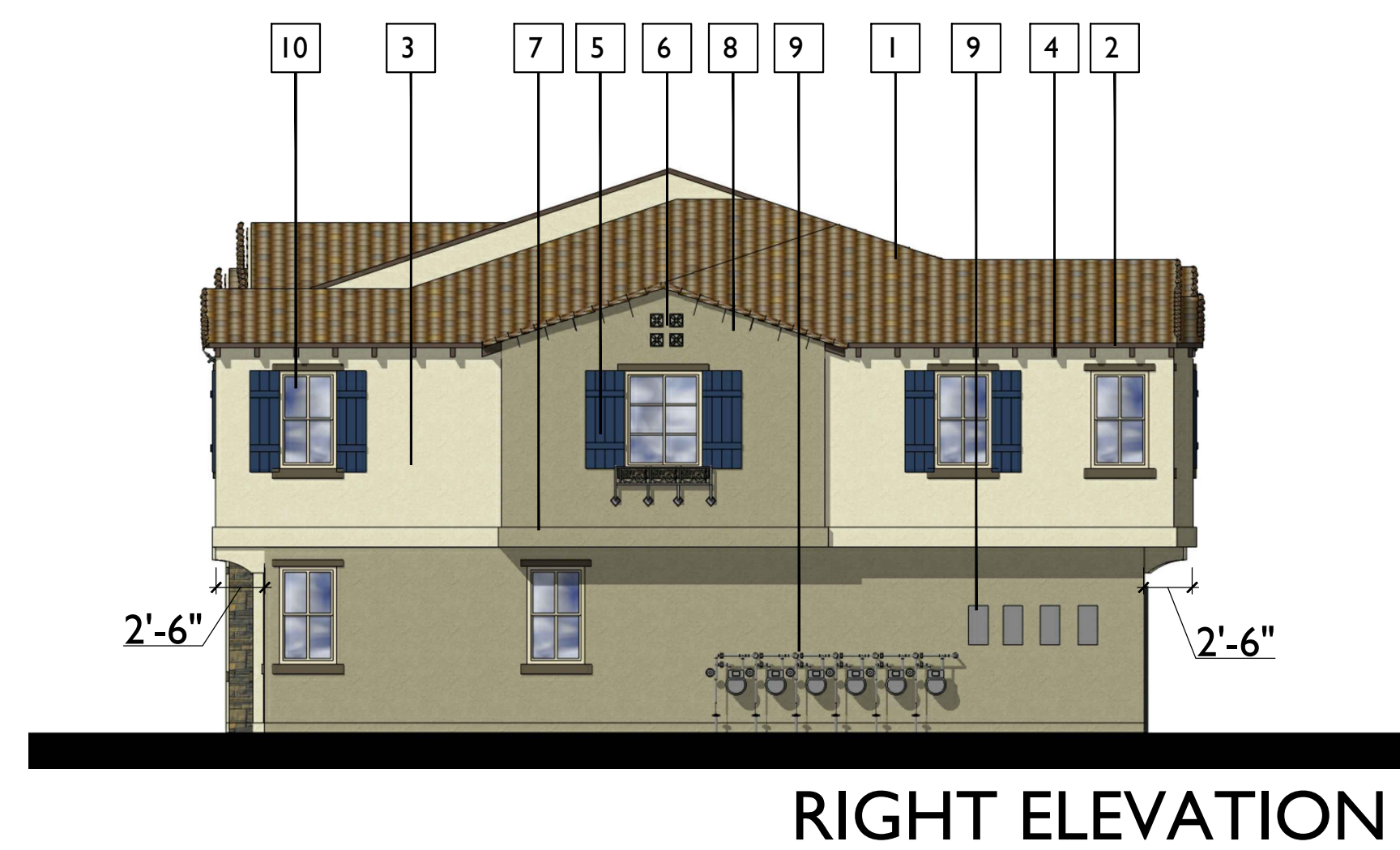
DECEMBER 17, 2018



BUILDING COMPOSITE A

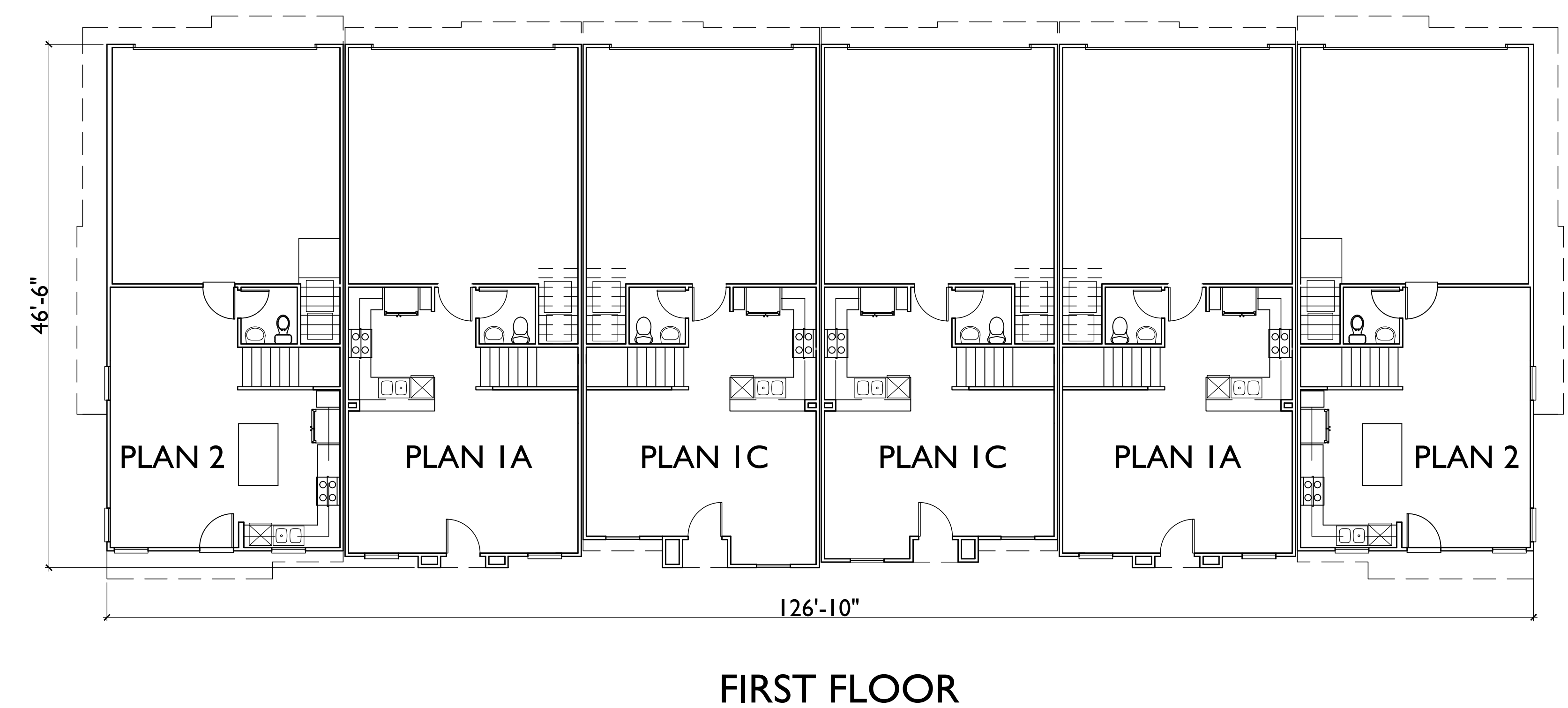
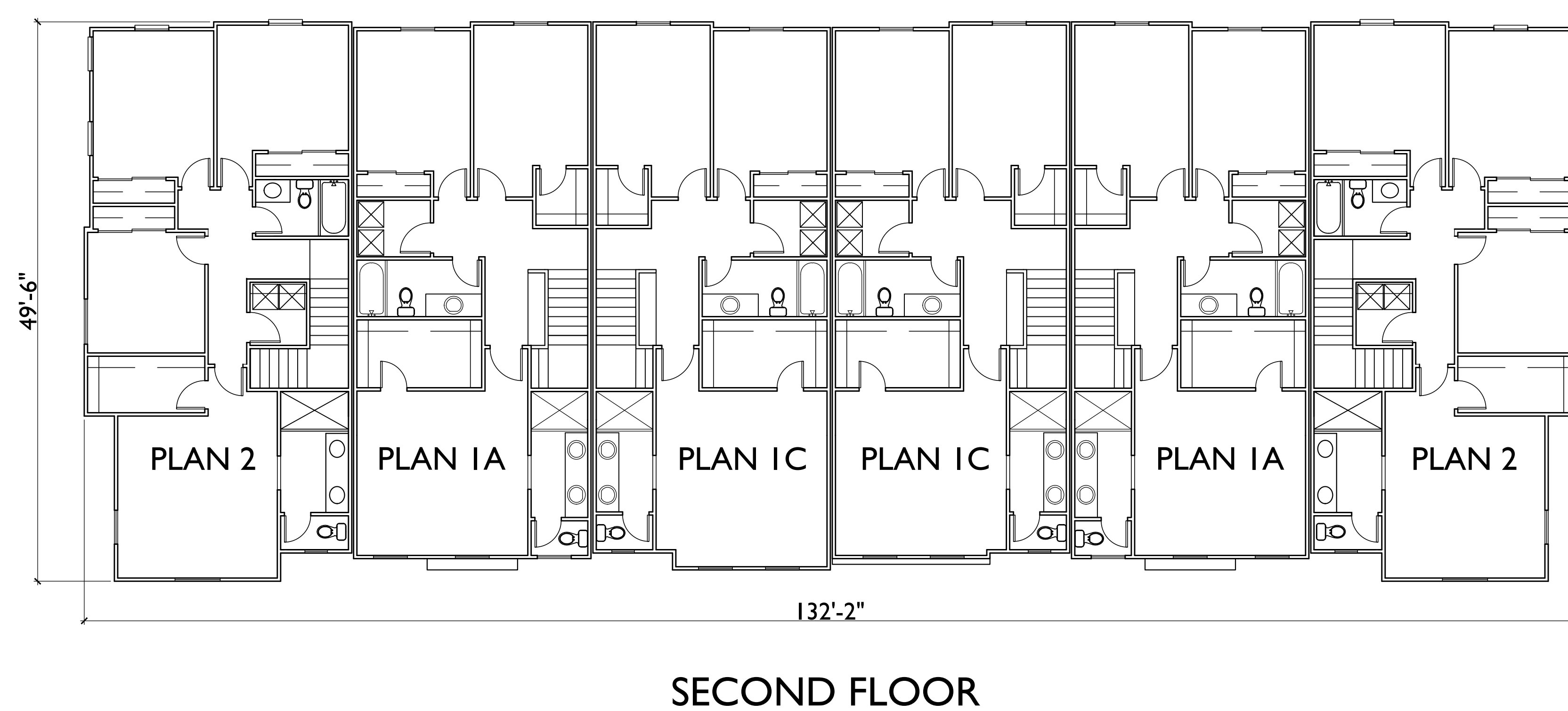
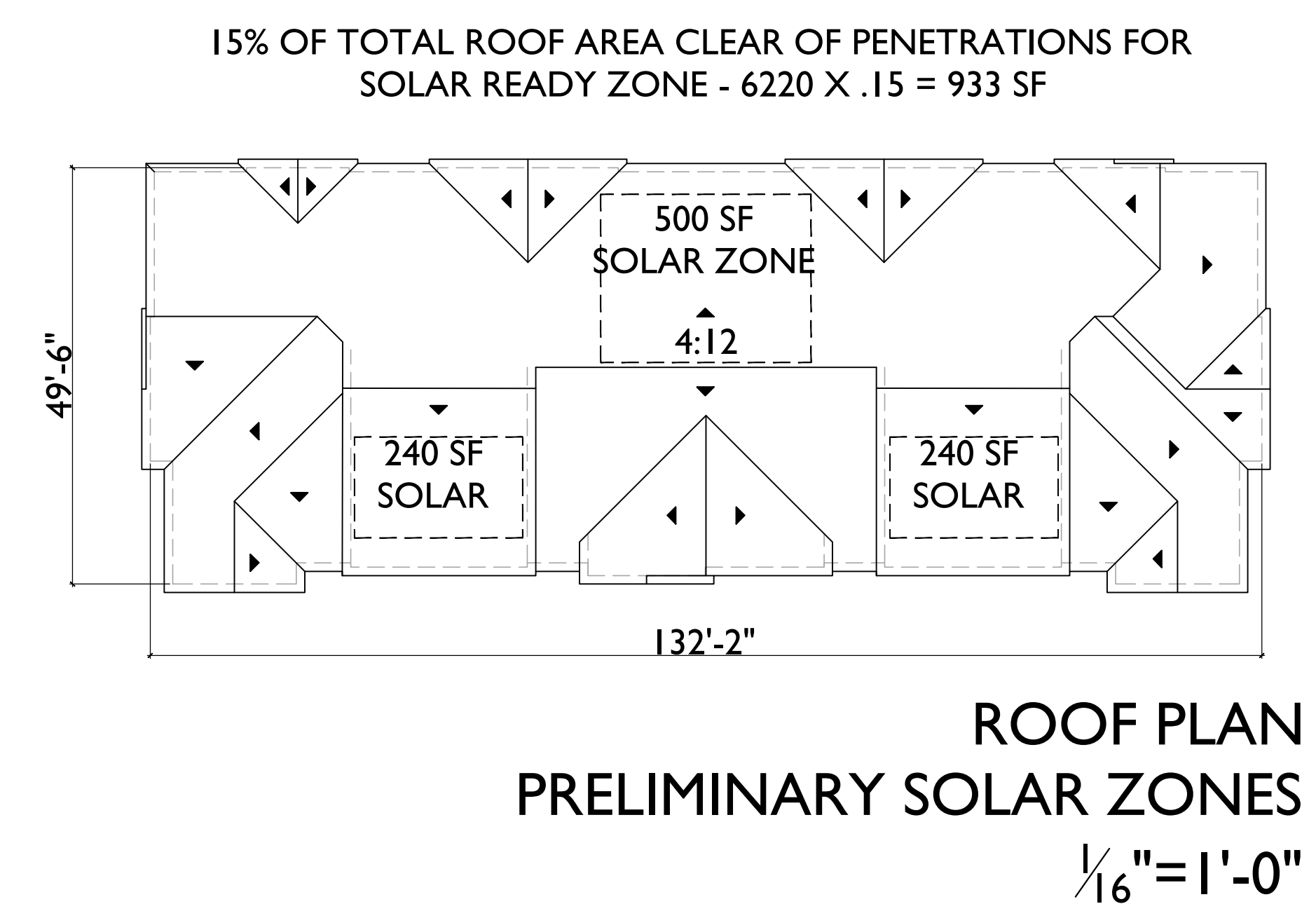
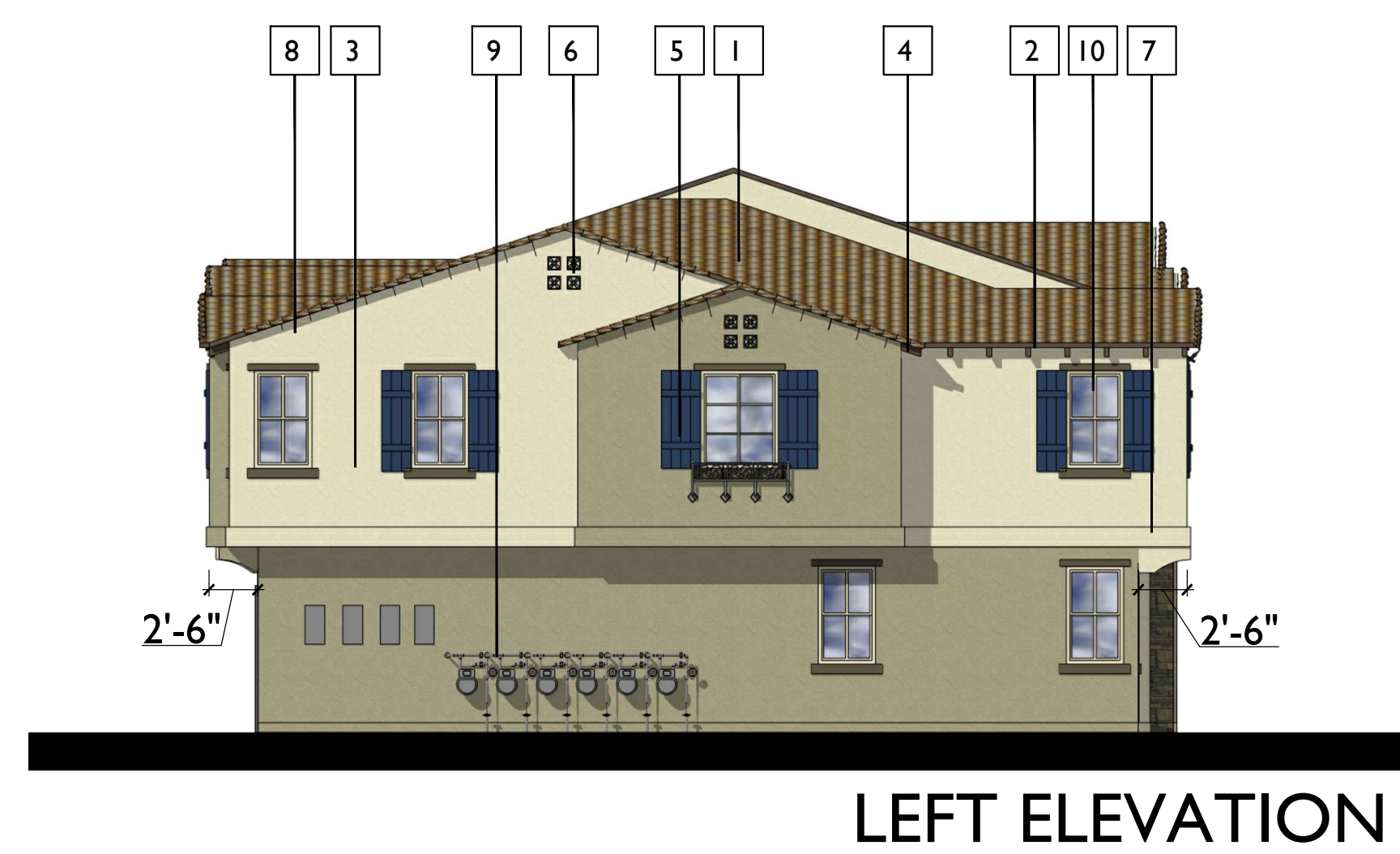


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ELEVATION NOTES

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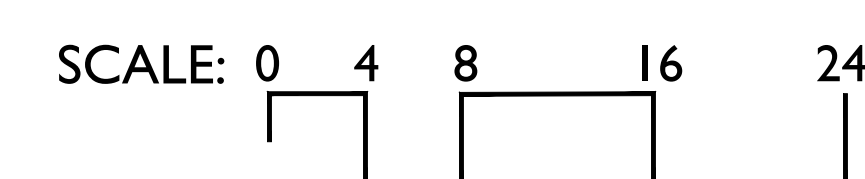


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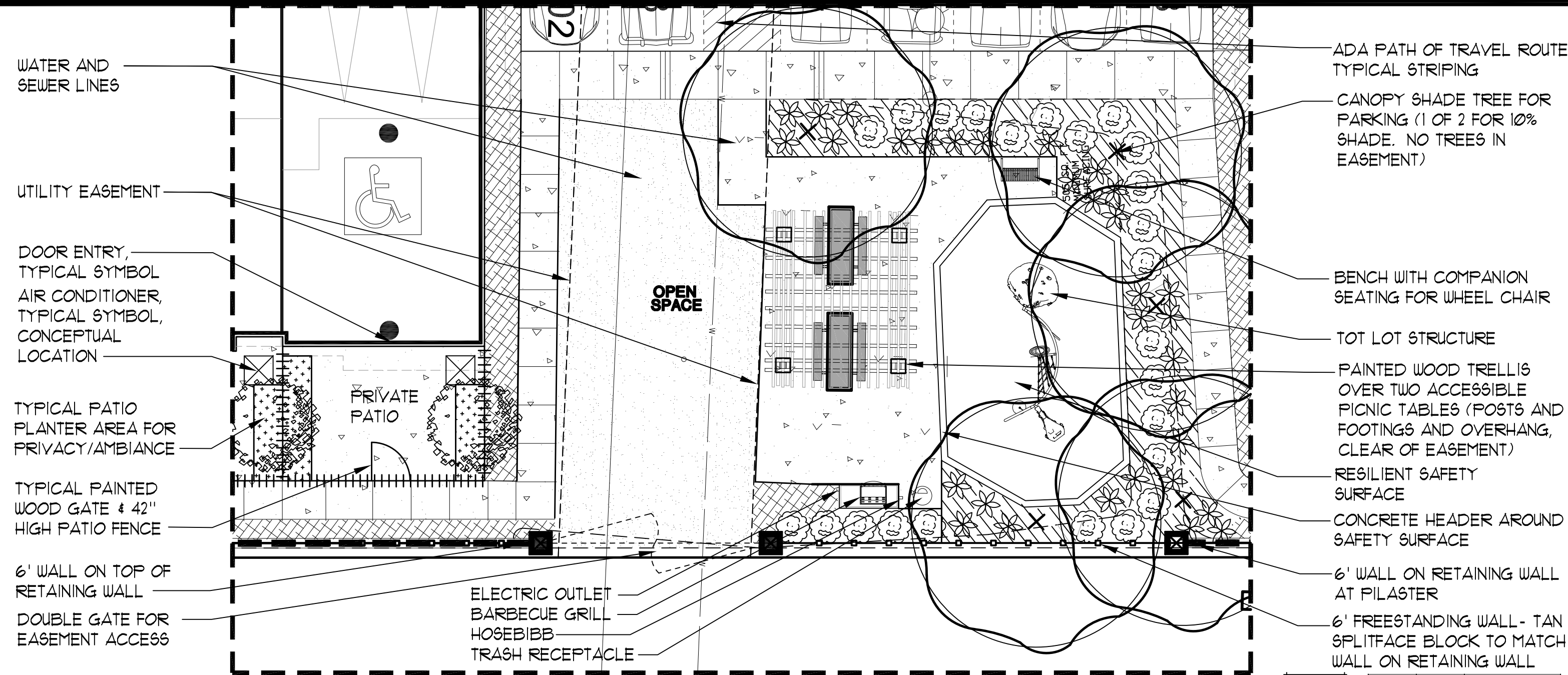


BUILDING COMPOSITE B



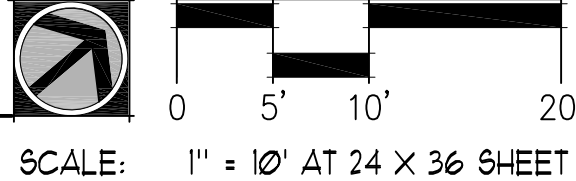
5256 S. Mission Road, Ste 404
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A-3



ENLARGED RECREATION AREA, TOT LOT AND TYPICAL PRIVATE PATIO

SEE SHEET L-2 FOR FENCE, WALL, GATE AND RECREATIONAL SITE FURNISHING COLOR, FINISH AND ADDITIONAL INFORMATION



TREE REPLACEMENT SUMMARY

SEE EXISTING TREE EXHIBIT, SHEET L-3

TREE REPLACEMENT SUMMARY:

21 TREE REMOVED @ 1:1 REPLACEMENT

61 TREES PROPOSED

SUMMARY=46 MORE TREES PROPOSED THAN REMOVED

PARKING/SHADE TREE SUMMARY

PARKING SPACES: 8

@ 1 TREE FOR 5 SPACES, = 2 TREES REQUIRED, AND 2 PROPOSED

RECREATION AREA CONCEPT

THE MULTI-USE ACTIVE AND PASSIVE RECREATION AREA INCLUDES A BARBECUE AREA, A PLAY STRUCTURE WITH RESILIENT SURFACE THAT MEETS AMERICANS WITH DISABILITIES STANDARDS AND ENCOURAGES ACTIVE, AEROBIC PLAY, COORDINATION-BUILDING ACTIVITIES, BALANCE-DEVELOPMENT AND INTEGRATED PLAY BETWEEN PHYSICALLY ACTIVE AND DIFFERENTLY-ABLED CHILDREN. THE ADDITION OF THE BARBECUE COMBINES EATING AND PLAY ACTIVITIES TO INCLUDE THE WHOLE FAMILY.

- PLAY STRUCTURE IS FOR A VARIETY OF AGE GROUPS FROM 5-12 YEARS OLD.
- RESILIENT SURFACE, AN UPGRADE FROM ENGINEERED WOOD CHIPS, IS PERMEABLE AND ALLOWS WHEEL CHAIR ACCESS ALL SIDES OF THE STRUCTURE AND IS BOUNDED BY A CONCRETE HEADER.
- A WOOD TRELLIS IS PROVIDED TO SHADE THE DINING TABLES.
- A PET WASTE STATION IS ALSO INCLUDED IN THE SECOND OPEN SPACE AREA.
- THE TOT LOT AREA HAS ENCLOSURE ON THREE SIDES AND IS OPEN TO PICNIC TABLES WITH ACCESS TO ACTIVE TURF.
- SHADE TREES OFFER AMBIANCE AND CLIMATE CONTROL AND HELP CREATE A SENSE OF PRIVACY FROM ADJACENT RESIDENCES AND SECOND STORY WINDOWS.
- TREE AND SHRUBS SEPARATE THE TOT LOT FROM THE SIDEWALK AND PARKING. SEE SHEET L-2 FOR ADDITIONAL GRAPHIC ENLARGEMENTS AND INFORMATION.
- A BARBECUE GRILL AND ACCESSIBLE COUNTERS OFFER OUTDOOR GRILLING OPPORTUNITIES. (NOTE THAT THE TREES ARE AWAY FROM THE BBQ FIRES) A HOSEBIBB AND ELECTRICAL OUTLET ARE INCLUDED.

CONCEPTUAL PLANT LEGEND

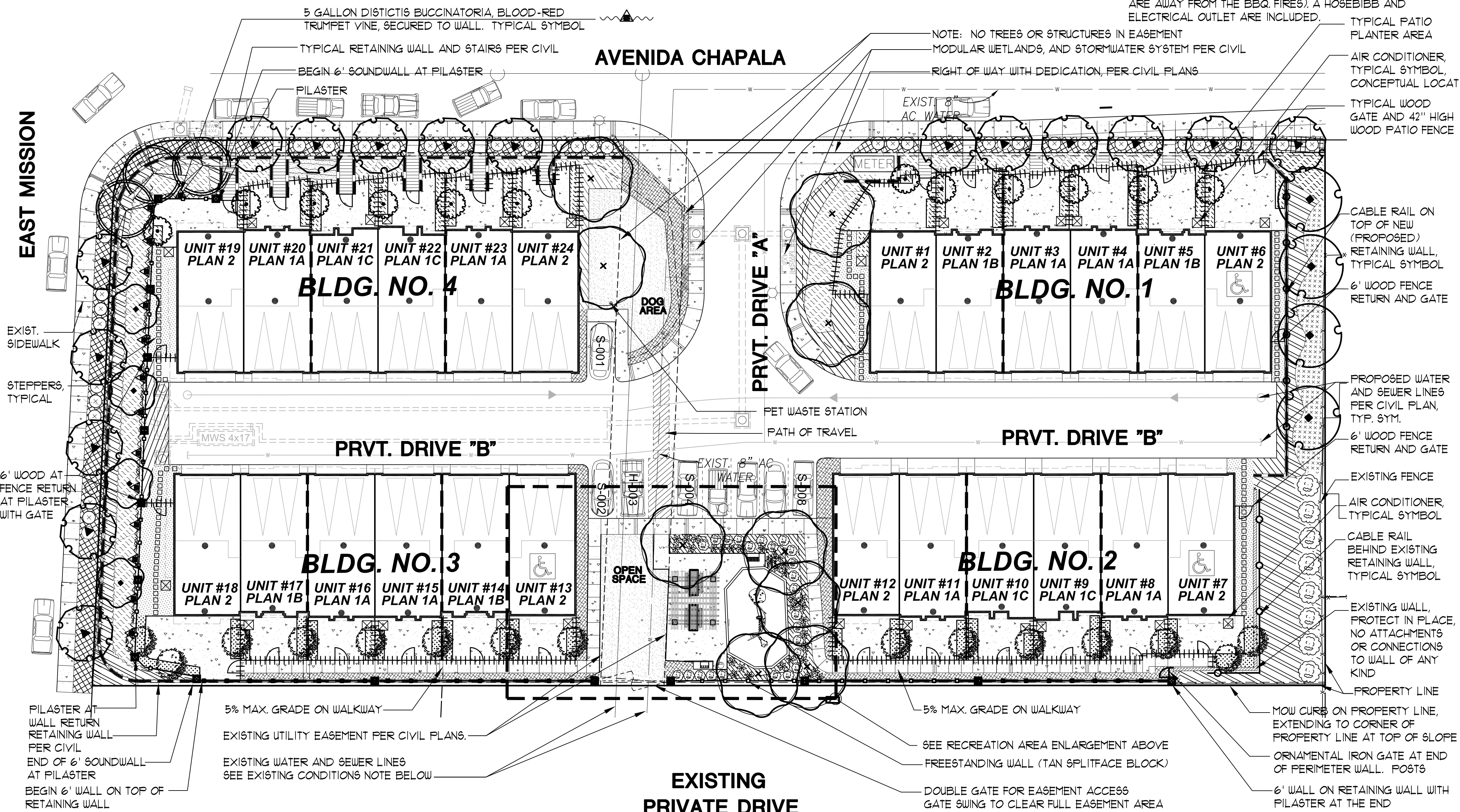
SEE NOTES ON SHEET L-3

TREE QTY. / MIN. TREE SIZE BOTANICAL NAME / COMMON NAME (TYPE / WUCOLS / LOCATION / MIN. PLANTER / MIN. HWX SPECS.)

17 24\" BOX		STREET TREES @ MINIMUM 30' O.C. ACACIA BAILEYANA / BAILEY ACACIA (EV / LW / PW / 4' / 9\" X 3') ARBUTUS X 'MARINA' STD / MARINA MADRONE (EV / LW / PW / 4' / 8\" X 4')
4 15 GAL		FRONTAGE SLOPE TREES AGONIS FLEXUOSA 'BURGUNDY' MULTI / BURGUNDY WILLOW MYRTLE (EV / LW / LS / 6' / 6\" X 3') MELALEUCA LINARIFOLIA / FLAXLEAF PAPERBARK MULTI-TRUNK (EV / LW / LS / 5' / 7\" X 2')
10 15 GAL		OPEN SPACE TREES ACACIA STENOPHYLLA / SHOE-STRING ACACIA (EV / VL / LS / 5' / 7\" X 3') QUERCUS VIRGINIANA / SOUTHERN LIVE OAK (SE / LW / LS / 7' / 7\" X 3') RHUS LANCEA / AFRICAN SUMAC (EV / LW / LS / 5' / 7\" X 3') ARBUTUS X 'MARINA' STD / MARINA MADRONE (EV / LW / PW / 4' / 8\" X 4')
3 15 GAL		ENTRY ACCENT TREES SCHINUS MOLLE / CALIFORNIA PEPPER (EV / LW / LS / 15' / 7\" X 2')
16 15 GAL		RESIDENTIAL PATIO TREE 'A' (SHRUB PRUNED AS TOPIARY PATIO TREE) TECOMA STANS STD. PATIO TREE / YELLOW BELLS (EV / LW / LS / 3' / 4\" X 2') LEPTOSPERMUM 'DARK SHADOWS' STD. PATIO TREE (EV / LW / LS / 3' / 4\" X 2')
13 15 GAL		RESIDENTIAL PATIO TREE 'B' (SHRUB PRUNED AS TOPIARY PATIO TREE) LEPTOSPERMUM PETERSONII MULTI (EV / LW / LS / 3' / 4\" X 2') ACACIA BOORMANII MULTI (EV / LW / LS / 3' / 4\" X 2') TECOMA 'ORANGE JUBILEE' STD. PATIO (EV / LW / LS / 3' / 4\" X 2')
4 15 GAL		PERIMETER SLOPE TREE CALLISTEMON CITRINUS / LEMON BOTTLEBRUSH (EV / LW / LS / 3' / 6\" X 3') LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS / CATALINA IRONWOOD (EV, NV / LW / LS / 10' / 5\" X 2')
SIZE BOTANICAL NAME / COMMON NAME HEIGHT X SPREAD		
32 5 GAL		LOW WATER FLOWERING ACCENT SHRUBS CALLISTEMON CITRINUS 'JEFFERSON' / BOTTLEBRUSH CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH MALOSMA (RHUS) LAURINA / LAUREL SUMAC 4'-8\" X 5'-10'
32 5 GAL		LOW WATER VERTICAL ACCENT PLANTS ARISTIDA PURPUREA / PURPLE THREE-AWN YUCCA SPECIES 2'-3\" X 2'-3'
38 5 GAL		SMALL SCALE, LOW WATER, VERTICAL ACCENTS BULBINE FRUTESCENS 'TINY TANGERINE' / TINY TANGERINE BULBINE HESPERALOE PARVIFLORA HYBRIDS / RED YUCCA 2'-3\" X 1'-2'
1 # 5 GAL		SPREADING, FLOWERING ACCENT SHRUBS BOUGAINVILLEA X 'ROSENKA' / BOUGAINVILLEA CEANOETHUS GRISSEUS HORIZONTALIS 'YANKEE POINT' / CALIFORNIA LILAC LANTANA X 'NEW GOLD' / NEW GOLD LANTANA SALVIA X 'BEE' 5 BLOSS / SAGE LOW WATER USE (ALL WUCOLS LOW) SOUTH INLAND 2,819 SF
1 # 5 GAL & FLATS		FLOWERING PERENNIAL/SUCCULENTS AND SPREADING SHRUBS ALOE SPECIES / ALOE DIANELLA REVOLUTA / SPREADING FLAX LILY DYMONDIA MARGARETAE / DYMONDIA GAZANIA RIGENS / TRAILING GAZANIA HYB. HESPERALOE PARVIFLORA / RED YUCCA LANTANA MONTEVIDENSIS / TRAILING LANTANA LOBELIA LAXIFLORA / MEXICAN LOBELIA PLECTRANTHUS SPECIES / PLECTRANTHUS SENECIO BARBERTONICUS / SUCCULENT BUSH SENECIO LOW WATER USE (ALL WUCOLS LOW) SOUTH INLAND 1,490 SF
1 GAL		FAST GROWING, SPREADING SHRUBS COPROSMA KIRKII / CREEPING MIRROR PLANT COPROSMA PETRIE 'VERDE VISTA' / VERDE VISTA COPROSMA WUCOLS HYDROZONE LOW LOW WATER USE (ALL WUCOLS LOW) SOUTH INLAND 536 SF
1 # 5 GAL & FLATS		PATIO 'A' LANDSCAPE ASPARAGUS MEYERI / FOXTAIL FERN PLECTRANTHUS (VARIEGATED) HYB. / VARIEGATED PLECTRANTHUS SENECIO SERPENS / BLUE CHALKSTICKS WUCOLS HYDROZONE MOD LOW WATER USE (ALL WUCOLS LOW) SOUTH INLAND 923 SF
1 # 5 GAL & FLATS		PATIO 'B' LANDSCAPE DIANELLA SPECIES / SPREADING FLAX LILY DIETES SPECIES GAZANIA RIGENS / TRAILING GAZANIA HYB. WUCOLS HYDROZONE MOD LOW WATER USE (ALL WUCOLS LOW) SOUTH INLAND 1,055 SF
SOD		OPEN ACTIVE AND PASSIVE RECREATION TURF TURF SOD / DROUGHT TOLERANT FESCUE BLEND WUCOLS HYDROZONE SLA 15% OF TOTAL 1,433 SF
FLATS		GROUNDCOVER DELOSPERMA COOPERI / PURPLE ICE PLANT HYB. GAZANIA RIGENS / TRAILING GAZANIA HYB. LAMPFRANTHUS PRODUCTUS / PURPLE ICE PLANT DYMONDIA MARGARETAE / SILVER CARPET COBBLE, GRAVEL OR BARK MULCH AT UTILITY BANK. 871 SF
1 GAL & FLATS		FLOWERING SLOPE PLANTING LAMPFRANTHUS PRODUCTUS / PURPLE ICE PLANT LANTANA MONTEVIDENSIS / TRAILING LANTANA RUSSSELLA X ST. ELMO'S FIRE / RED FIRECRACKER PLANT WUCOLS HYDROZONE LOW 2,290SF
FLATS		RIGHT OF WAY GROUNDCOVER MALEPHORA LUTEA / ROCKY POINT ICE PLANT OTTHONNA CAPENSIS 'LITTLE PICKLES' SENECIO SERPENS / BLUE CHALKSTICKS WUCOLS HYDROZONE LOW 2,103SF
3 INCHES		INERT GROUNDCOVER BARK MULCH OR GRAVEL MULCH OR DECOMPOSED GRANITE PRE-CAST STEPPERS AS SHOWN WUCOLS HYDROZONE (NO WATER USE) 1,608 SF

TREE LEGEND FORMAT OF INFORMATION AND CITY OF SAN MARCOS ABBREVIATIONS REQUIRED:
BOTANICAL NAME/COMMON NAME/ TYPE TREE/WUCOLS SOUTH INLAND/APPR. LOCATION/MIN. PLANTER SIZE/ SIZE STOCK
CITY OF SAN MARCOS APPROVED TREE LIST INFORMATION AND ABBREVIATION LEGEND
EV=EVERGREEN, SE=SEMI-EVERGREEN, DC=DECIDUOUS, NV=NATIVE, VL=VERY LOW, LW= LOW, MD=MODERATE, H=HIGH
FV=FAIRWAY, CA=CENTER MEDIAN, LS=LANDSCAPE (OUTSIDE ROW)
MINIMUM CALIPER AT 6\" (INCHES) ABOVE CONTAINER SOIL LEVEL: .75\" FOR 15 GAL AND 1.5\" FOR 24\" BOX TREE
PROPOSED ALTERNATE SPECIES AND MINIMUM PLANTER WIDTHS TO BE REVIEWED AND APPROVED BY CITY
REPRESENTATIVE BASED ON SITE CONDITIONS.
REFER TO THE CITY OF SAN MARCOS STANDARD LANDSCAPE PLANTING NOTES FOR ADDITIONAL TREE QUALITY SPECIFICATIONS AND ALL LANDSCAPE IRRIGATION AND PLANTING STANDARDS.
REFER TO CITY OF SAN MARCOS MWLO FOR CURRENT LANDSCAPE WATER CONSERVATION ORDINANCE INFORMATION AND ADDITIONAL NOTES ON SHEET L-3.

EAST MISSION



CONCEPTUAL LANDSCAPE PLAN

EXISTING CONDITIONS, ACCESS ROADS, EASEMENTS AND UTILITIES:
REFER TO CIVIL GRADING PLAN FOR LOCATION AND TYPES OF EXISTING CONDITIONS AND PROPOSED UTILITIES, EASEMENTS AND PROPERTY LINES AND ACCESS ROADS. REFER TO CIVIL PLANS FOR LOCATION OF DRAINAGE SWALES, BROW DITCHES, RETAINING WALLS, INFORMATION ABOUT WATER QUALITY BASINS, STREET AND BMP SECTIONS, AND LIMITS OF WORK. CONCEPTUAL LANDSCAPE IS BASED ON ELECTRONIC BASE INFORMATION PROVIDED BY CIVIL ENGINEER. FOR FENCE AND REFERENCE WALL ELEVATIONS SEE SHEET L-2. FOR EXISTING TREE LOCATIONS SEE SHEET L-3.
PROJECT LANDSCAPE SHALL CONFORM TO CURRENT OF SAN MARCOS LANDSCAPE STANDARDS FOR DEVELOPMENT.



THE
LIGHTFOOT
PLANNING
GROUP

PLANNING
SITE DESIGN
LANDSCAPE
ARCHITECTURE

5900 PASTEUR COURT SUITE 110
CARLSBAD, CA 92008
(760) 692-1924

LIGHTFOOT@LIGHTFOOTPG.COM



MISSION 24 CONDOMINIUMS
1210 E. MISSION RD. TOWNHOMES
SAN MARCOS, CALIFORNIA

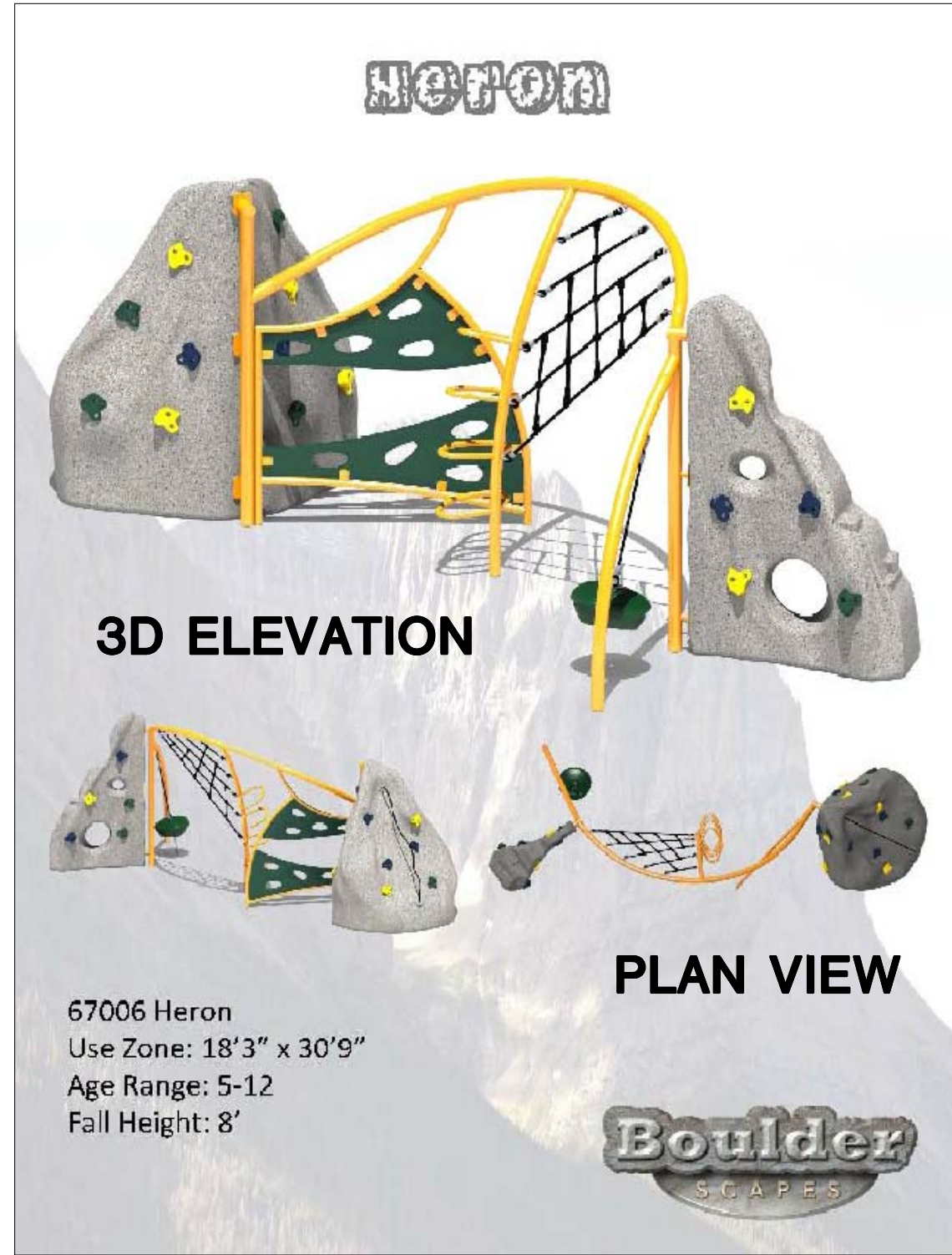
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Drawn By: KC
Revisions: 7/16/18
8/17/18

LANDSCAPE
CONCEPT
PLAN

Job # 642291

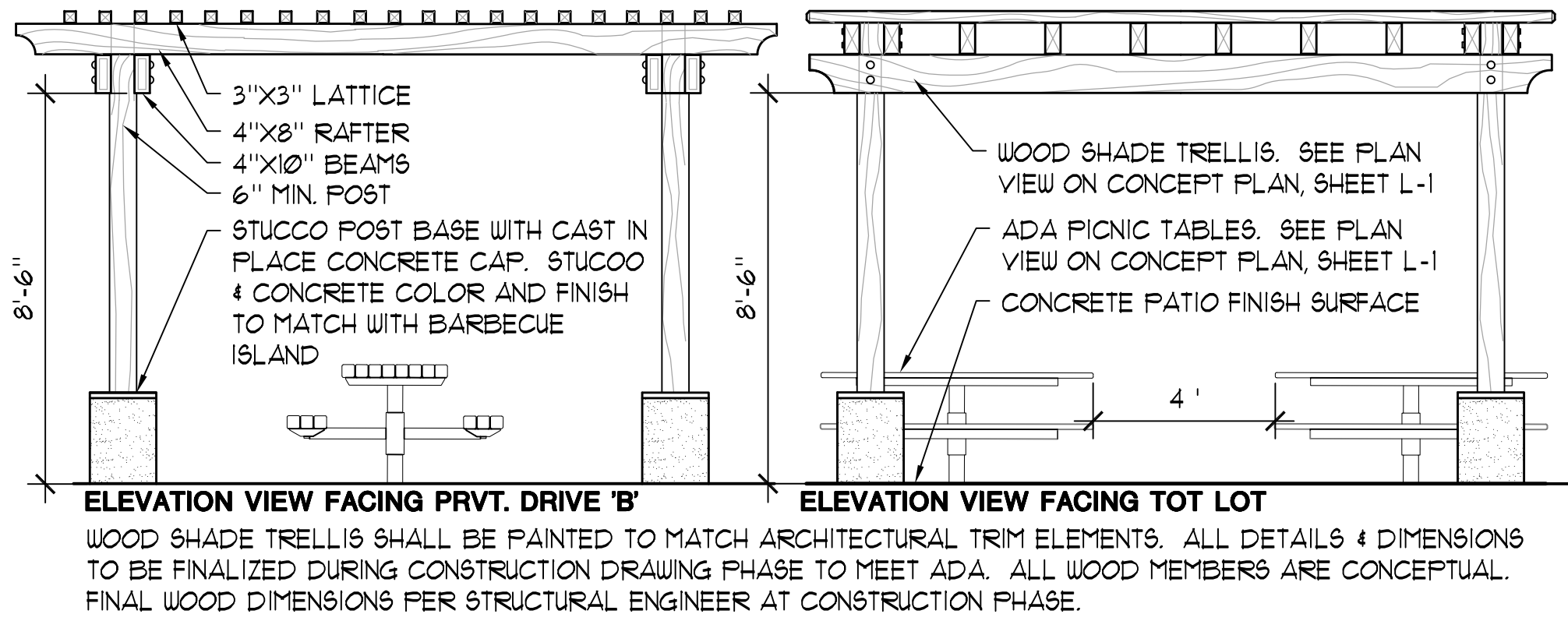
L-1
3

TOT LOT STRUCTURE IN RESILIENT SURFACE

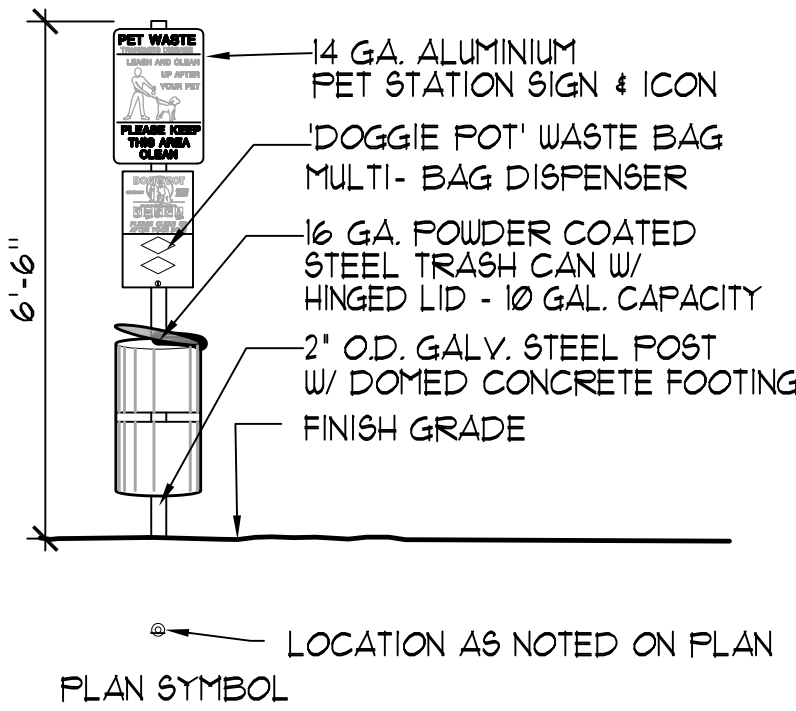


ACCESSIBLE STRUCTURE IS FOR AGES 5 THROUGH 12 YEARS OLD AND IS PROPOSED WITH RESILIENT SURFACE. SEE PLAN ENLARGEMENT FOR LOCATION OF STRUCTURE AS WELL AS ADJOINING SITE FURNISHINGS.

SHADE TRELLIS & PICNIC TABLES

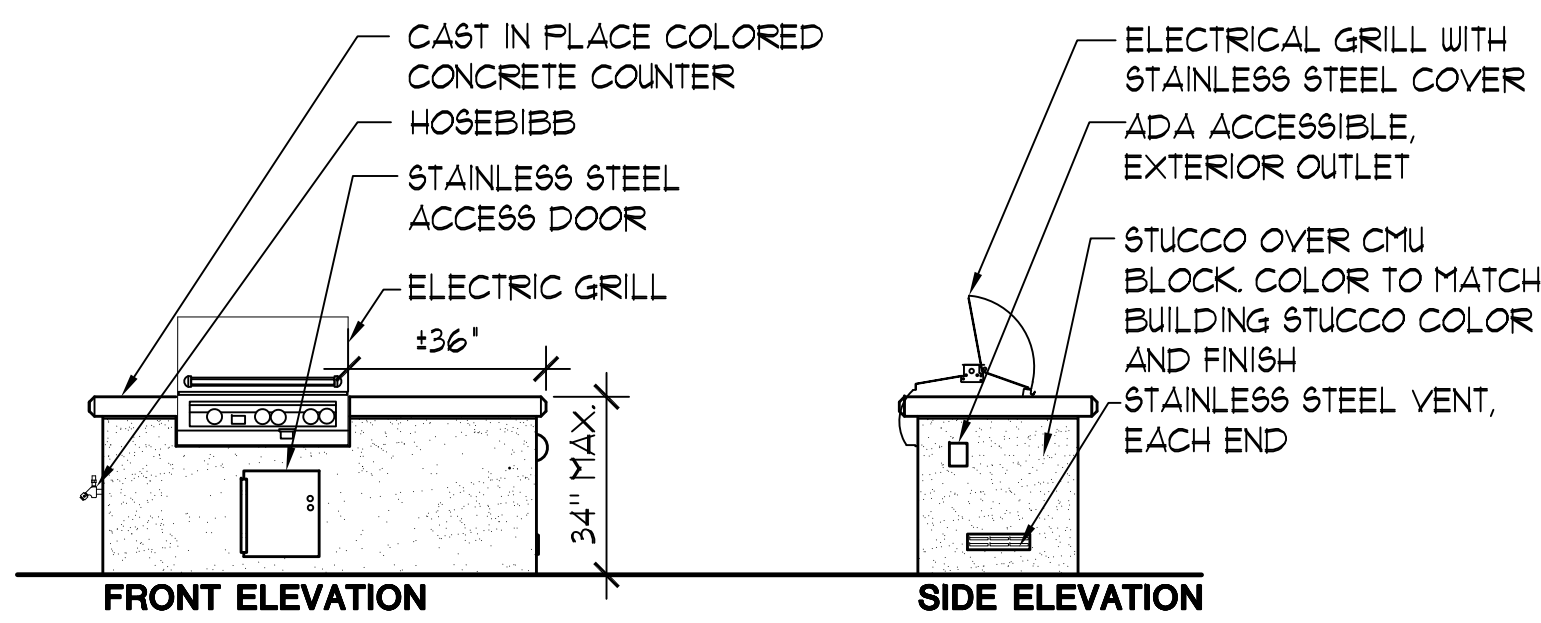


PET WASTE STATION



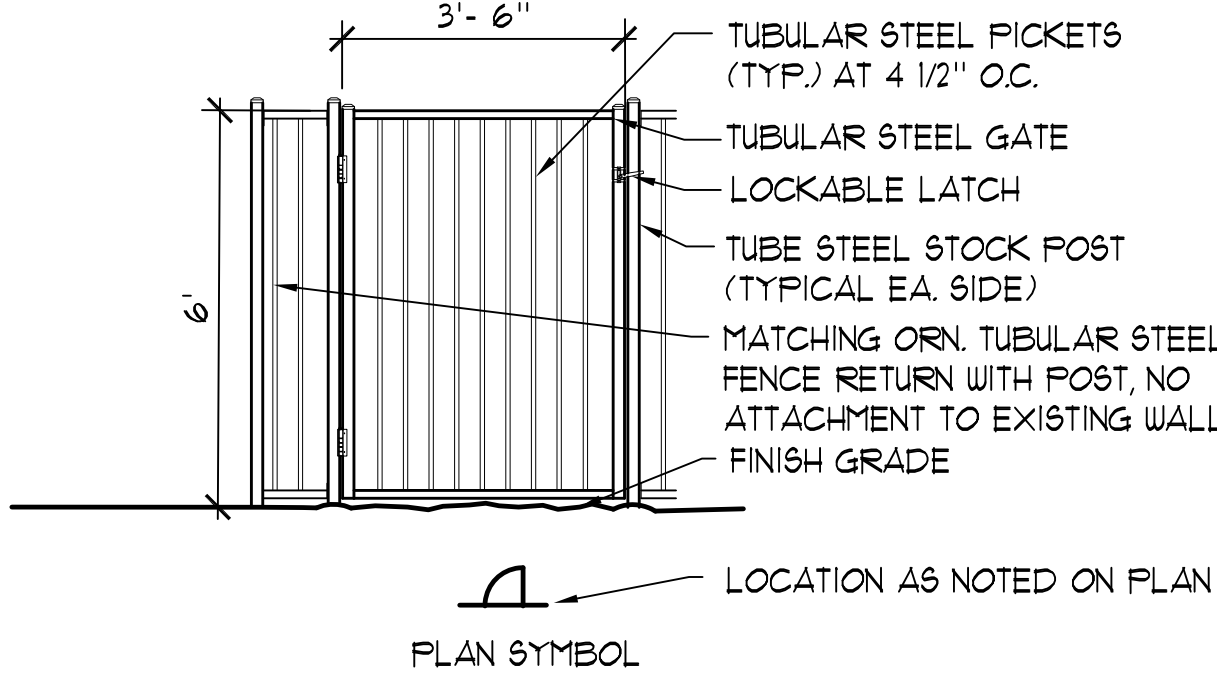
BUILT-IN ELECTRIC BARBECUE GRILL

BUILT IN BARBECUE COUNTER WITH ELECTRIC GRILL, CAST IN PLACE COLORED CONCRETE COUNTER, ELECTRICAL OUTLET AND HOSE BIBB



6' ORN. IRON MAINTENANCE GATE

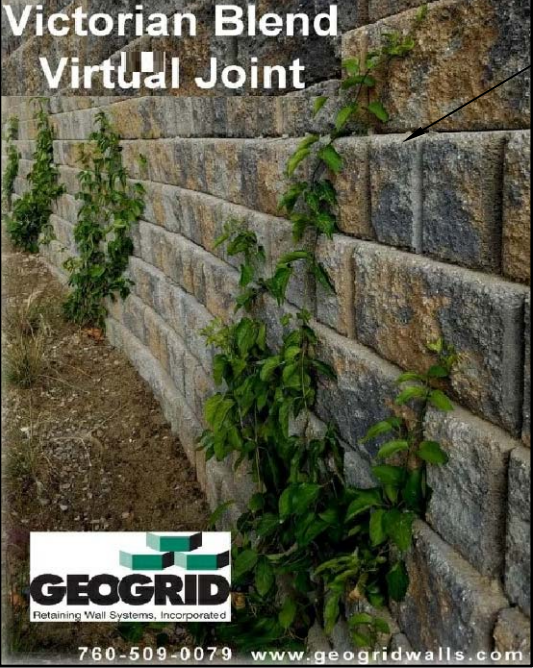
BLACK TUBULAR STEEL (ORN. IRON) GATE FOR MAINTENANCE ACCESS TO SLOPE. SINGLE LOCATION AT END OF PERIMETER WALL AS NOTED ON PLAN. NO ATTACHMENT TO EXISTING WALL ALLOWED.



6' PERIMETER SOUNDWALL- EAST MISSION



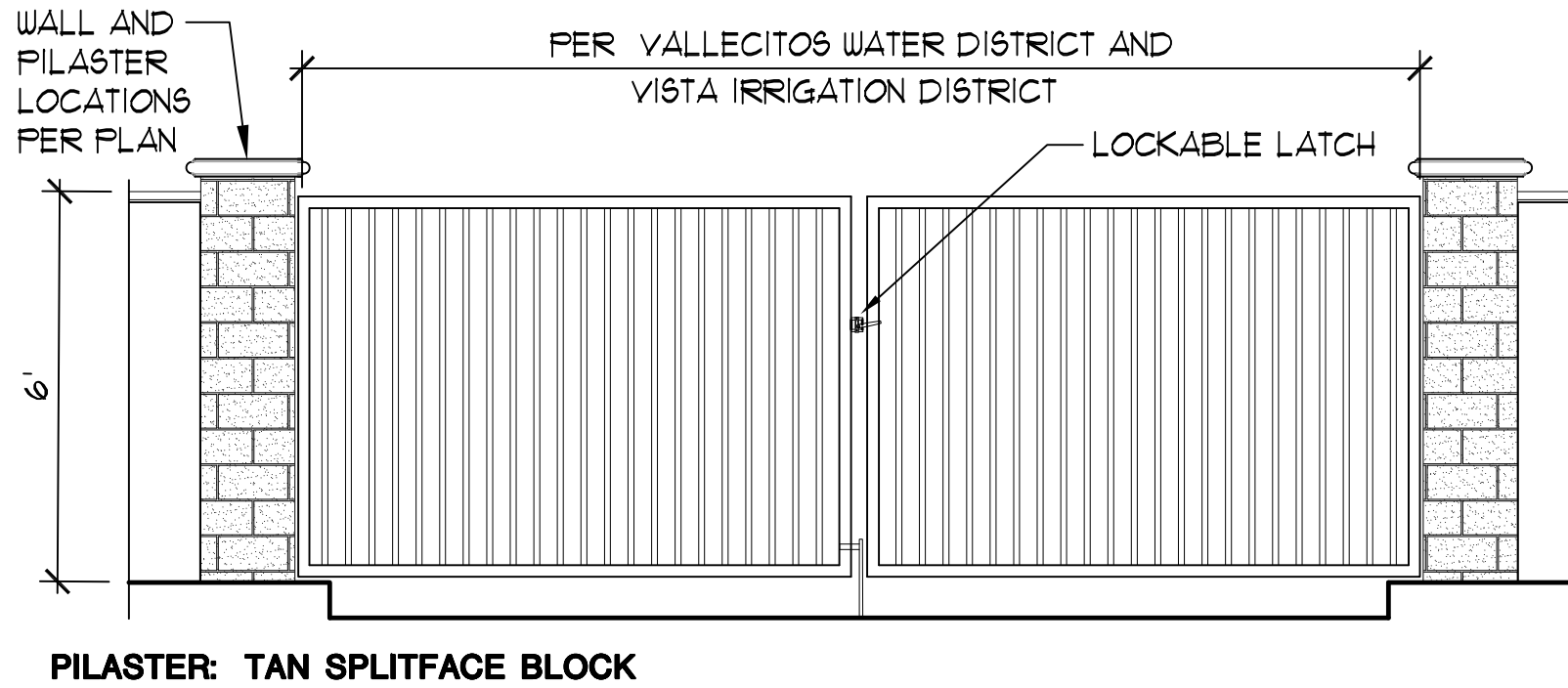
GEOGRID RETAINING WALL



NOTE: SEE TYPICAL RETAINING WALL ELEVATIONS THIS SHEET.

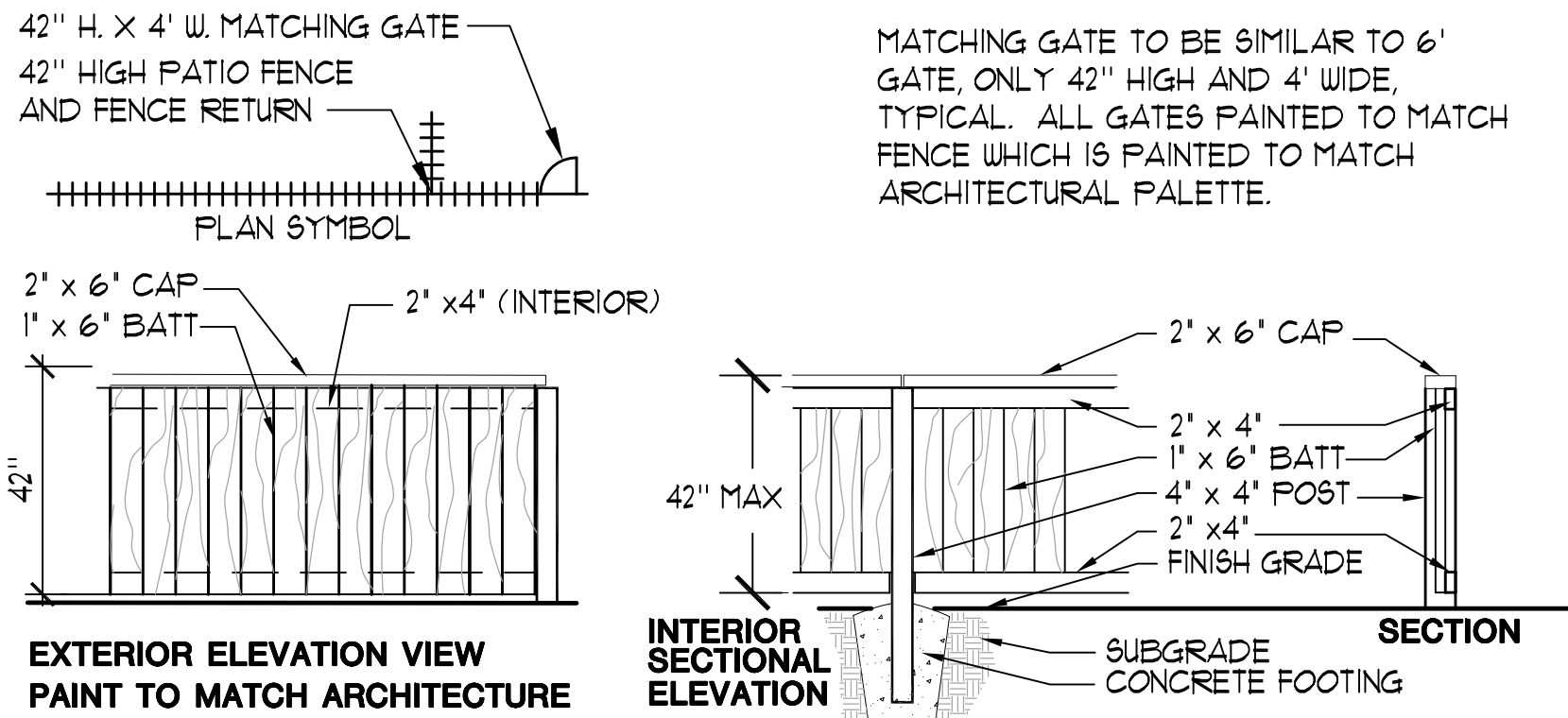
ORNAMENTAL IRON EASEMENT ACCESS GATE

BLACK TUBULAR STEEL (ORN. IRON) DOUBLE VEHICULAR GATE FOR UTILITY AND EASEMENT ACCESS. SEE LANDSCAPE CONCEPT PLAN FOR SINGLE LOCATION.



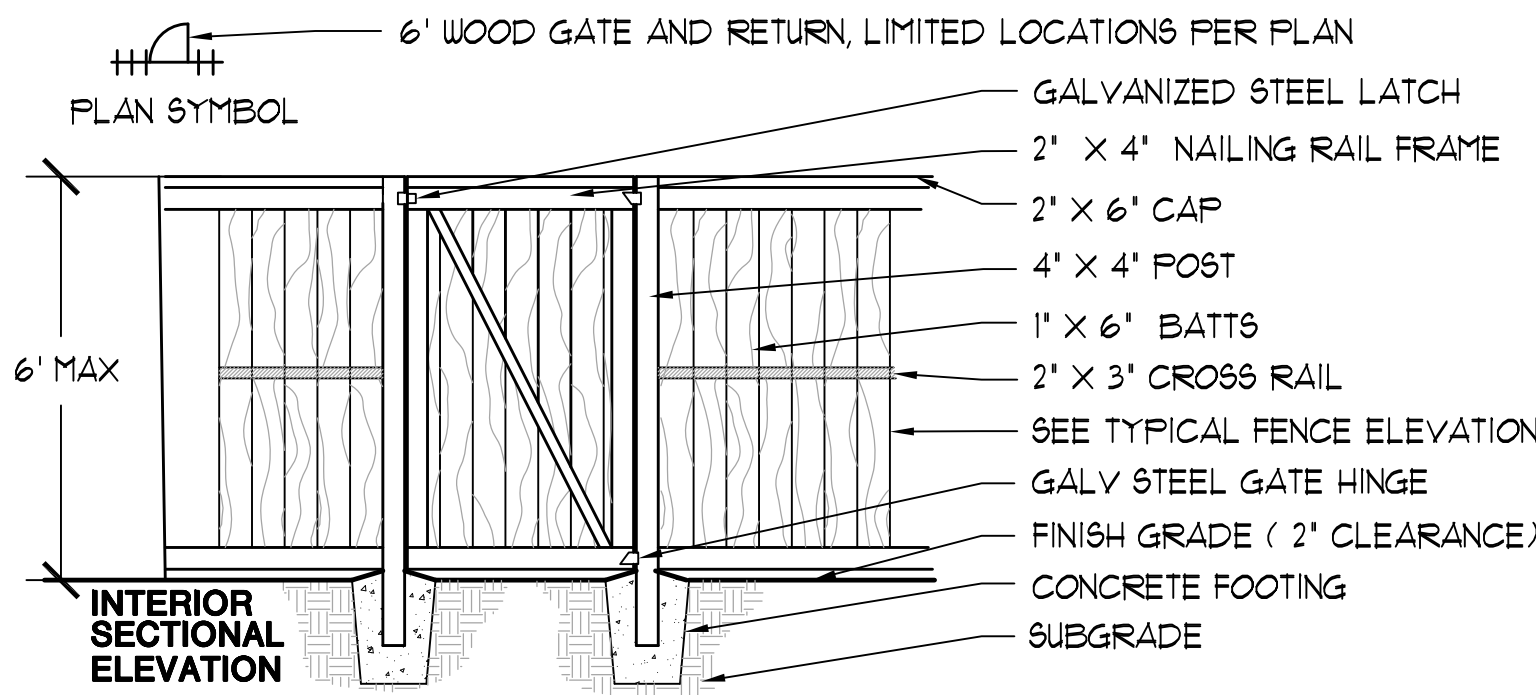
42" WOOD PATIO FENCE WITH MATCHING GATE

PAINTED FENCE AND GATE FINISH: PAINT COLOR TO MATCH ARCHITECTURAL ELEVATION FINISHES



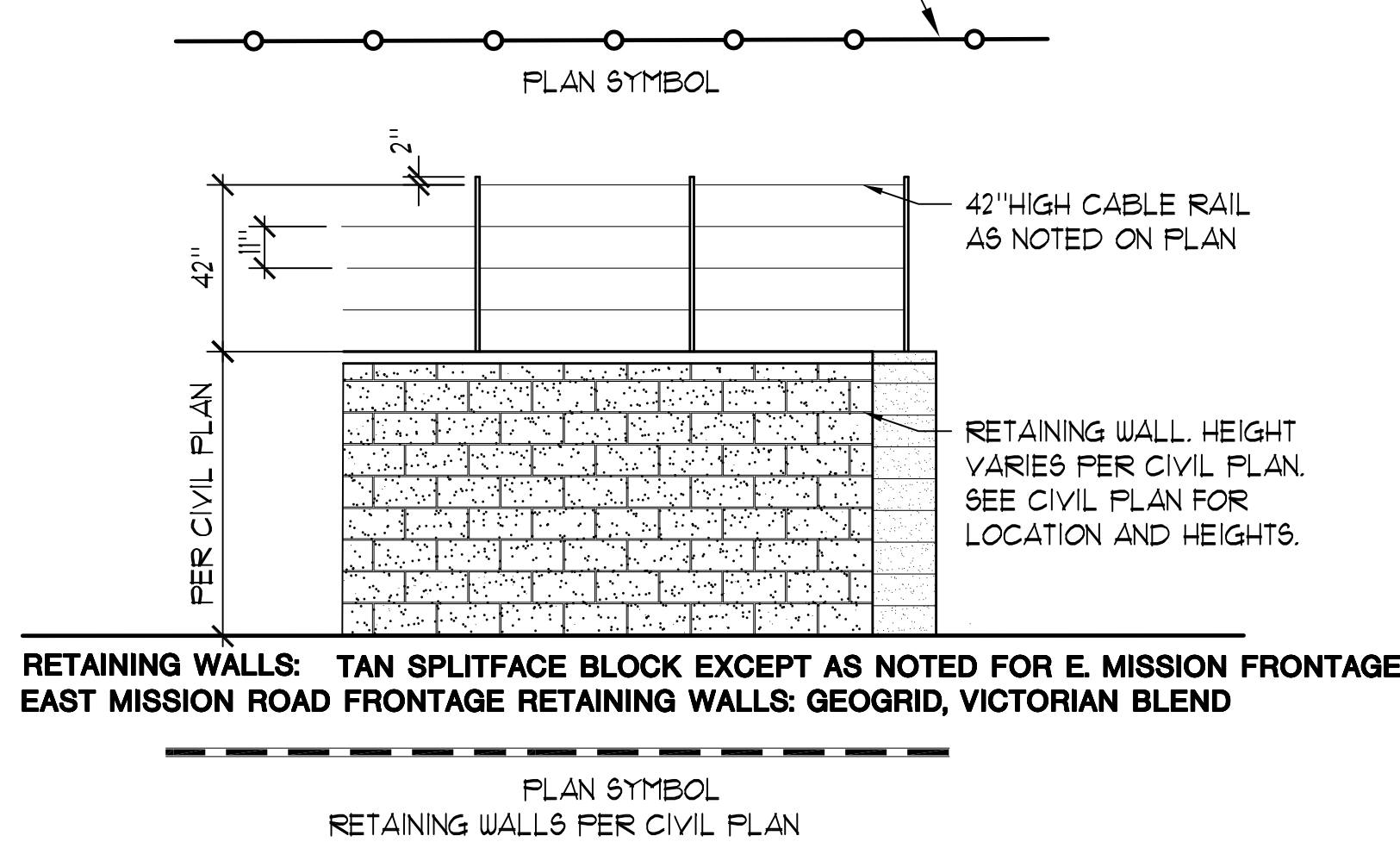
SOLID 6' FENCE RETURN AND GATE

PAINTED 6' WOOD FENCING IS FOR SIDE YARD FENCE RETURNS ONLY AS NOTED ON THE CONCEPTUAL LANDSCAPE PLAN. MATCHING GATES ARE PROPOSED AS NOTED FOR ACCESS. FINISH: FENCE AND GATE PAINT COLOR TO MATCH ARCHITECTURAL PALETTE. EXISTING FENCES TO REMAIN AS NOTED ON PLAN.



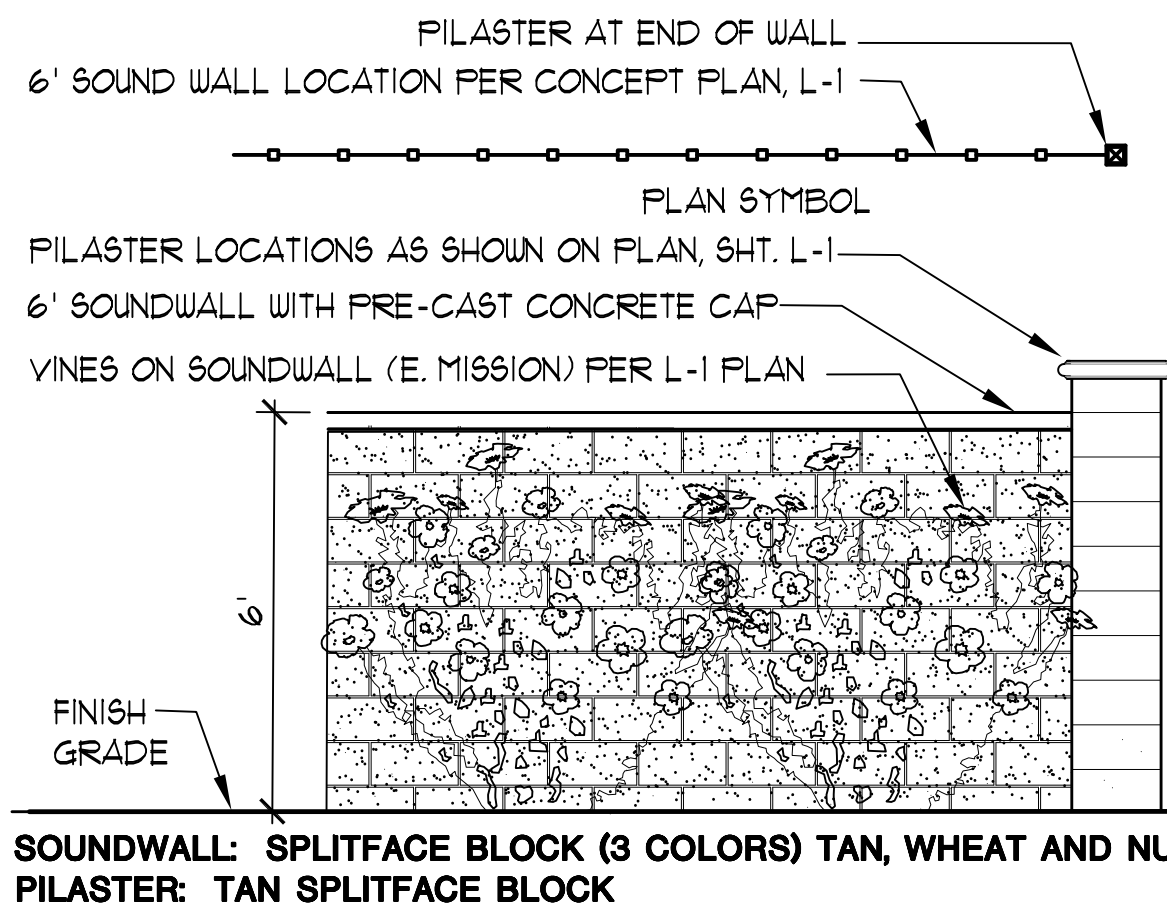
REFERENCE RETAINING WALL WITH CABLE RAIL

PROJECT RETAINING WALLS SHALL HAVE 42" CABLE SAFETY RAIL. WALL HEIGHTS VARY. PLEASE SEE CIVIL PLAN FOR HEIGHTS AND LOCATIONS, DESIGN AND CONSTRUCTION DETAILING. WALLS SHOWN ON LANDSCAPE CONCEPT PLAN ARE FOR REFERENCE ONLY TO COLOR AND RETAINING WALL FINISH ALONG EAST MISSION AND AVENIDA CHAPALA: 'VICTORIA BLEND' GEOTRID, (SEE IMAGE THIS SHEET ABOVE, RIGHT). RETAINING WALLS (EXCEPT E. MISSION FRONTAGE) PROPOSED AS TAN SPLITFACE BLOCK. NOTE: NO CABLE RAIL ON EXISTING RETAINING WALLS. INSTEAD, CABLE RAILS TO BE INSTALLED BEHIND EXISTING RETAINING WALL. SEE REFERENCE LOCATION ON LANDSCAPE CONCEPT PLAN, L-1. 42" HIGH CABLE RAIL ON PROPOSED WALL, TYPICAL OR LOCATED BEHIND TOP OF EXISTING WALL AS NOTED ON PLAN

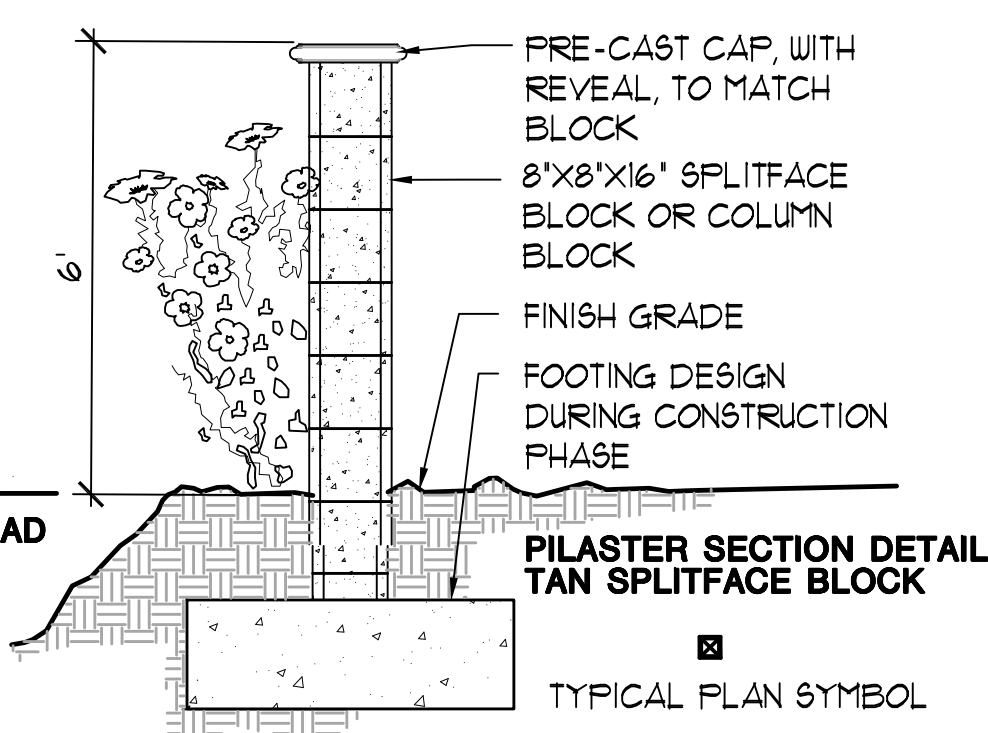


6' PERIMETER SOUNDWALL ON EAST MISSION ROAD

6' SOUND WALLS WITH PILASTERS ARE SHOWN FOR ALONG EAST MISSION AVENUE. SOUNDWALLS TO BE DETAILED AND PRECISELY LOCATED AT CONSTRUCTION PHASE. PILASTER FINISH: TAN SPLITFACE BLOCK WITH PRE-CAST CONCRETE CAP. SOUNDWALL FINISH: 3 COLORS OF SPLITFACE BLOCK IN RANDOM CONFIGURATION. SUCH AS WHEAT, TAN AND NUFAD. SEE LANDSCAPE CONCEPT PLAN FOR PROPOSED SOUNDWALL LOCATIONS ON SHEET L-1.

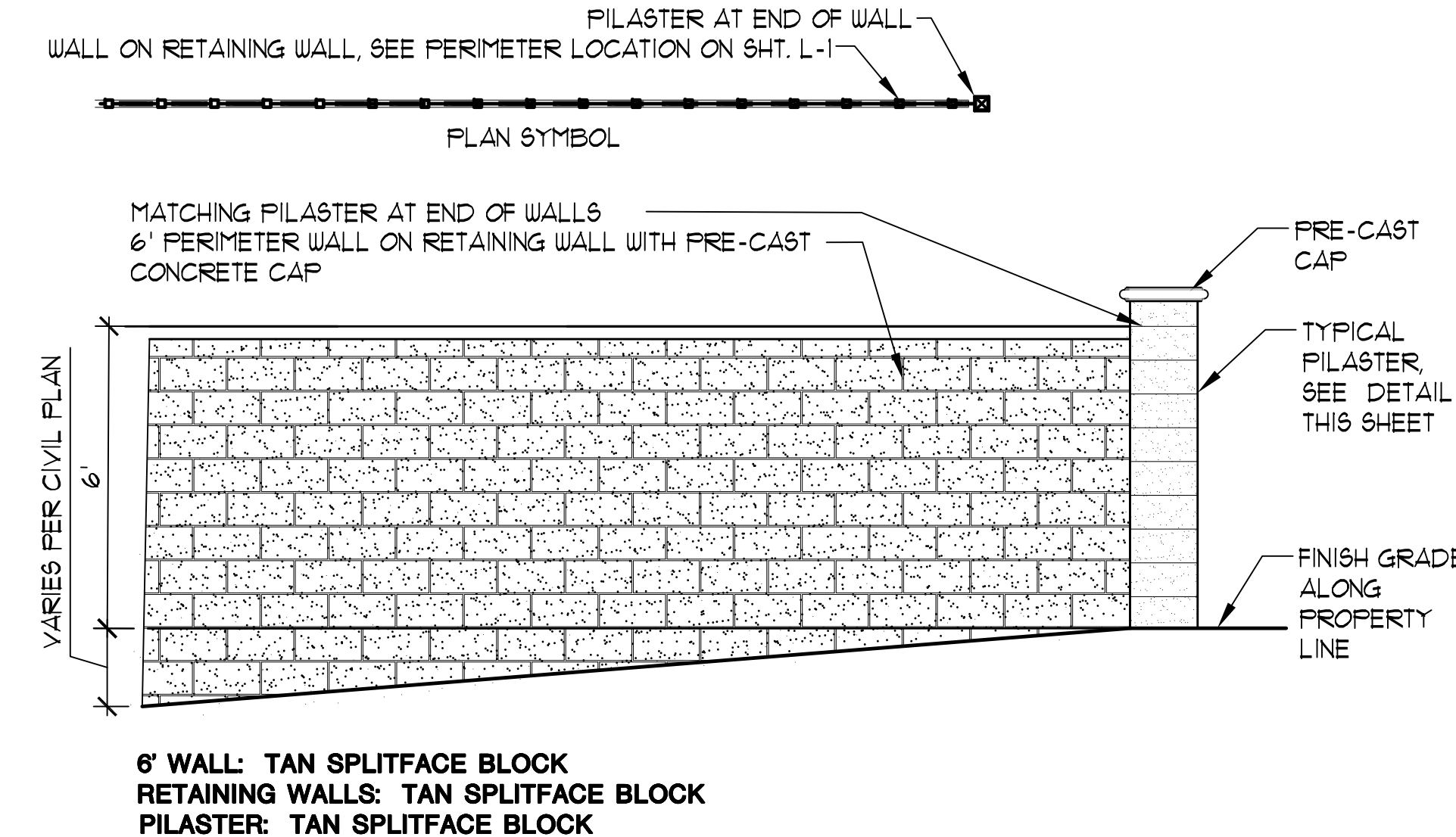


TYPICAL PILASTER



6' WALL ON RETAINING WALL

6' WALL, ON RETAINING WALL ALONG (EASTERN) COMMERCIAL PERIMETER AS NOTED ON PLAN. WALL FINISH: TAN SPLITFACE BLOCK FOR BOTH WALL AND RETAINING WALL, WITH TYPICAL PILASTER. SEE PLAN, SHT. L-1, FOR LOCATION.

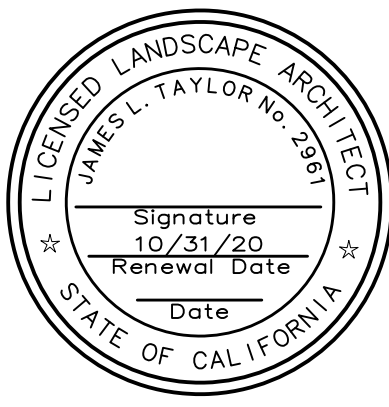


THE
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PLANNING
SITE DESIGN
LANDSCAPE
ARCHITECTURE

5900 PASTEUR COURT SUITE 110
CARLSBAD, CA 92008
(760) 692-1924

LIGHTFOOT@LIGHTFOOTPG.COM



MISSION 24 CONDOMINIUMS
1210 E. MISSION RD. TOWNHOMES
SAN MARCOS, CALIFORNIA

Scale: NOT TO SCALE

Date: 4/30/18

Drawn By: KC

Revisions: 1/11/18

8/17/18

7/30/18

12/7/18

1/11/18

1/14/18

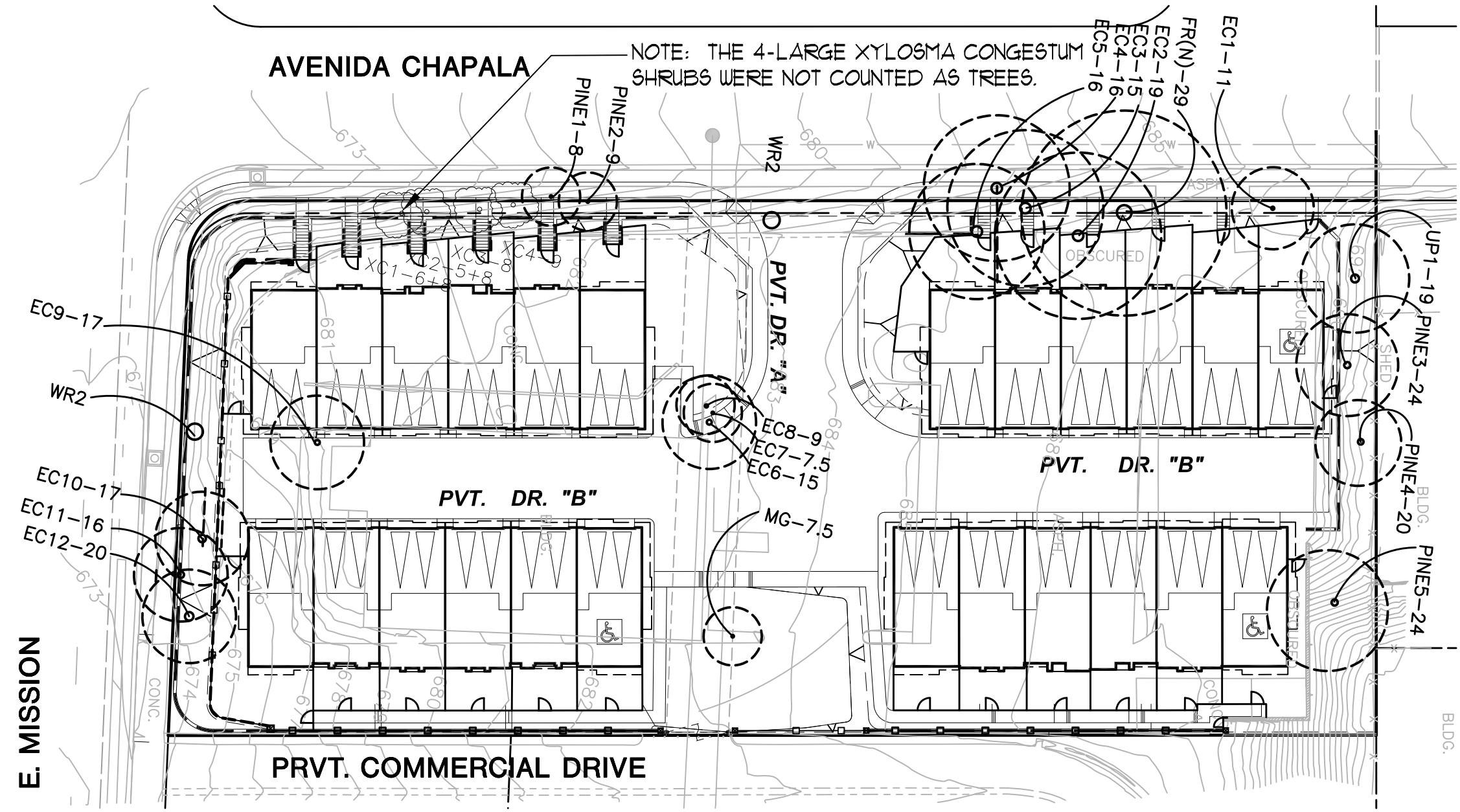
LANDSCAPE
CONCEPT
PLAN

Job # 64229.1

L-2

3

TREE SURVEY INFORMATION



TREE SURVEY 1210 E. MISSION TOWNHOMES		
ABBREV	BOTANICAL NAME	DBH
EC1	EUCALYPTUS CITRIODORA	11
EC2	EUCALYPTUS CITRIODORA	19
EC3	EUCALYPTUS CITRIODORA	15
EC4	EUCALYPTUS CITRIODORA	16
EC5	EUCALYPTUS CITRIODORA	16
EC6	EUCALYPTUS CITRIODORA	15
EC7	EUCALYPTUS CITRIODORA	7.5
EC8	EUCALYPTUS CITRIODORA	9
EC9	EUCALYPTUS CITRIODORA	17
EC10	EUCALYPTUS CITRIODORA	17
EC11	EUCALYPTUS CITRIODORA	16
EC12	EUCALYPTUS CITRIODORA	20
FR(N)	FICUS RETUSA (NITIDA)	29
MG	MAGNOLIA GRANDIFLORA	7.5
PINE1	PINE SPECIES	8
PINE2	PINE SPECIES	9
PINE3	PINE SPECIES	24
PINE4	PINE SPECIES	20
PINE5	PINE SPECIES	24
UP1	ULMUS PARVIFOLIA	19
WR1	WASHINGTONIA ROBUSTA	
WR2	WASHINGTONIA ROBUSTA	
TOTAL OF 22 TREES REMOVED		

NOTE: SURVEY CONDUCTED BY KATHLEEN COBLEY, CERTIFIED ARBORIST WE-1331A APRIL, 2018

GENERAL NOTES:
THIS CONCEPTUAL LANDSCAPE PLAN DIAGRAMMATICALLY SHOWS PLACEMENT OF PROPOSED PROJECT LANDSCAPING. SEE EXISTING TREE LOCATIONS ON THIS SHEET. THE LANDSCAPE ARCHITECT IS AWARE OF THE CITY OF SAN MARCOS POLICY WHICH PROHIBITS TREES AND STRUCTURES IN UTILITY EASEMENTS AND HAS CONCEPTUALLY DESIGNED THE PROJECT LANDSCAPE IN ACCORDANCE WITH THIS REQUIREMENT. ALL PERTINENT UTILITY EASEMENTS ARE DELINEATED ON THE PRELIMINARY CIVIL ENGINEERING SITE PLAN INFORMATION AND SHOWN FOR REFERENCE ON THE LANDSCAPE CONCEPT PLAN. THE FINAL LANDSCAPE PLAN SHALL SHOW ALL EASEMENTS THAT MAY AFFECT FINAL PLACEMENT OF PROJECT TREES AND SHRUBS, BASED ON THE EASEMENT AND UTILITY INFORMATION RECEIVED FROM THE PROJECT ENGINEER. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT OF WAY ALONG E. MISSION AND AVENIDA CHAPALA) SHALL BE MAINTAINED BY THE PROJECT HOA. LANDSCAPE AREAS SHALL BE MAINTAINED PER THE CITY OF SAN MARCOS REQUIREMENTS.

GENERAL IRRIGATION NOTES:
AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. CLASS 315 OR SCHEDULE 40 MAINLINE SHALL BE BURIED TO A MINIMUM DEPTH OF 18". PVC LATERALS LINES SHALL BE BURIED 12" MINIMUM BELOW FINISH GRADE. ALL MAINLINE SHALL BE INSTALLED PER MANUFACTURER GUIDELINES, SPECIFICATIONS, AND ADHERE TO CODES AND GUIDELINES. ALL IRRIGATION PIPING SHALL BE SLEEVED UNDER HARDSCAPE. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF SAN MARCOS GUIDELINES AND WATER CONSERVATION ORDINANCE. (SEE WATER CONSERVATION ORDINANCE NOTES, THIS SHEET).

GENERAL PLANTING NOTES:
THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, ENVIRONMENTAL SENSITIVITY AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW INTO THEIR NATURAL FORMS WITHOUT SHEARING OR UNINTENDED TOPIARY FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE CITY OF SAN MARCOS GUIDELINES. ALL STREET TREES SHALL COMPLY WITH THE CITY OF SAN MARCOS APPROVED STREET TREE LISTS AND STANDARDS. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES WHERE A PAVING IS WITHIN 10 FEET OF A TREE TRUNK IN THE RIGHT OF WAY. ROOT BARRIERS SHALL EXTEND 5 FEET IN BOTH DIRECTIONS FROM CENTER OF TRUNK (10' TOTAL) AT A MINIMUM DETH OF 36". SURROUNDING THE ROOTBALL WITH ROOTBARRIER IS UNACCEPTABLE. THE MORE STRINGENT STANDARD APPLIES, THESE NOTES OR THE CITY OF SAN MARCOS GUIDELINES.

PLANTING NOTES

STREET TREES AND OTHER TREES SHALL BE SPACED:
8 FEET FROM TRANSFORMERS, CABLE, AND DOUBLE CHECK DETECTORS
5 FEET FROM MAILBOXES
5 FEET FROM FIRE HYDRANTS (ALL SIDES)
10 FEET FROM CENTERLINE OF ALL UTILITY LINES (WITHOUT EASEMENT) (SEWER, WATER, AND STORM DRAINS, DOUBLE CHECK DETECTORS, AIR RELIEF VALVES AND GAS LINES.
10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS, OR OTHER UTILITIES)
10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC SECTION TO BE OTHERWISE)
10 FEET FROM DIRECTIONAL SIGNS.
15 FEET FROM STREET LIGHTS AND OTHER UTILITY POLES AND FULL BOXES (AS DETERMINED BY CITY SPECIFICATIONS).
MINIMUM FIFTEEN (15') STREETLIGHT AND STOP SIGN OR CLEARANCE DETERMINED BY CITY SPECIFICATIONS.
SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.
DRIVE LANE CLEARANCES FOR FIRE VEHICLES SHALL BE MET.
UTILIZE THE INSTALLATION OF 36" DEPTH ROOT BARRIERS ADJACENT TO UTILITY LINES TO HELP COMPLY WITH CLEARANCES.

STANDARDS FOR TREE SELECTION

- I. THE FOLLOWING CRITERIA SHALL BE USED FOR TREE SELECTIONS FOR ALL PROJECTS WITHIN THE CITY.
 - A. TREES SHALL HAVE A STRAIGHT TRUNK WITH SYMMETRICAL CROWN.
 - B. TREES SHALL HAVE A SINGLE, STRONG CENTRAL LEADER. DOUBLE LEADERS WILL NOT BE ACCEPTED.
 - C. TREE BARK SHALL NOT BE DISCOLORED, SUNKEN, OR SWOLLEN, CUTS OR SCRAPES THAT MEASURE 1/4 OF THE TREE CIRCUMFERENCE OR MORE WILL NOT BE ACCEPTED.
 - E. TREES SHOWING VISIBLE INSECT GALLERIES, SUN SCALD, OR FROST DAMAGE WILL NOT BE ACCEPTED.
 - E. THE CALIFER OF THE TREE SHALL BE IN PROPORTION TO THE ROOTBALL.
 - F. NO BRANCHES SHALL EXTEND FROM THE TRUNK AT GREATER THAN A 45 DEGREE VERTICAL ANGLE.
 - G. TREES WITH CIRCLING GIRDLING ROOTS, WRAPPING AROUND THE TRUNK, ARE NOT ACCEPTABLE AND ARE SUBJECT TO REJECTION BY CITY. CONTRACTOR SHALL PHYSICALLY INSPECT ROOTS PRIOR TO ACCEPTING DELIVERY.
 - H. TREES SHALL BE FREE OF CROSSING BRANCHES AND BRANCHES GROWING TOO CLOSE TOGETHER.
 - I. FRESHLY PRUNED TREES SHALL NOT BE ACCEPTED SO THAT THE TREES CAN BE INSPECTED AS TO THEIR ACTUAL HEALTH AND CONDITION AND SO THAT THEY MAY BE RETURNED IF REJECTED.
 - J. THE QUALITY OF ALL TREES AND THEIR INTENDED LOCATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

MAINTENANCE REQUIREMENTS

I. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS WITHIN THE PROJECT THROUGHOUT THE DURATION OF THE REQUIRED MAINTENANCE AND ESTABLISHMENT PERIODS, UNTIL FINAL APPROVAL AND ACCEPTANCE OF PROJECT BY THE CITY. THE MAINTENANCE PERIOD SHALL INCLUDE THE FOLLOWING SCOPE OF WORK AND SHALL CONFORM TO ALL OF THE MAINTENANCE GUIDELINES AND SPECIFICATIONS PER THE CITY OF SAN MARCOS GUIDELINES AND SPECIFICATIONS FOR LANDSCAPE DEVELOPMENT.
ALL SHRUBS SHALL BE HAND-PRUNED ONLY. NO SHEARING OR HEDGING.
NO TOPPING OF TREES. TREES SHALL BE PRUNED ONLY BY CERTIFIED TREE PROFESSIONAL, TO REMOVE DEAD MATERIAL OR MEET CITY REQUIREMENTS.
ALL NURSERY STAKES SHALL BE REMOVED AT INSTALLATION AND ALL TREE STAKES SHALL BE REMOVED PRIOR TO THE END OF THE MAINTENANCE PERIOD.
ANY PALMS SHALL BE MAINTAINED WITH SPECIAL PALM FERTILIZER, THAT CONTAINS ESSENTIAL MICRONUTRIENTS FOR PALMS.

PROJECT STORM WATER MANAGEMENT PLAN (SUMP)

LANDSCAPING SHALL COMPLY WITH THE APPROVED STORM WATER MANAGEMENT PLAN. REFER TO CIVIL PLANS FOR DRAINAGE SWALES AND BMPs LOCATIONS, IF APPLICABLE.

STANDARDS FOR FIRE DEPARTMENT

- I. TREES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 13'-6" FROM TOP OF FIRE ACCESS ROADWAY TO LOWEST BRANCHES OF TREE .

PATIO AREA SUMMARY

1210 EAST MISSION ROAD TOWNHOMES		
Building No.	Unit No.	Patio Area
1	1	620 SF
1	2	389 SF
1	3	357 SF
1	4	410 SF
1	5	395 SF
1	6	672 SF
2	7	587 SF
2	8	260 SF
2	9	284 SF
2	10	272 SF
2	11	275 SF
2	12	296 SF
3	13	294 SF
3	14	286 SF
3	15	275 SF
3	16	276 SF
3	17	285 SF
3	18	994 SF
4	19	572 SF
4	20	271 SF
4	21	293 SF
4	22	323 SF
4	23	317 SF
4	24	383 SF

CONCEPTUAL MAWA SUMMARY

USING 54.2 ETc THE CONCEPTUAL MAWA IS CALCULATED AS FOLLOWS:

LANDSCAPE AREA TOTAL IS 14,194 SF WHICH INCLUDES INERT GROUND COVER (WITH NO WATER), AND TURF, BUT DOES NOT INCLUDE THE MODULAR WETLANDS, (WHICH IS THE CIVIL'S, PREFAB MODULAR BMP DEVICE BECAUSE THEY ARE SUBTERRANEAN WITHOUT PLANTING)

NOTE THE TURF IS ACTIVE RECREATION AREA AND CONSIDERED AS "SPECIAL LANDSCAPE AREA (SLA)" IS 2,103 SF @ 1.5 % OF THE TOTAL LANDSCAPE AREA)
THE INERT GROUND COVER AREA AT ZERO WATER USE IS 1608 SF @ 1% OF THE TOTAL LANDSCAPE AREA)

BASED ON A TOTAL CONCEPTUAL LANDSCAPE AREA OF 14,1944 GAL / YEAR

THE CONCEPTUAL MAWA IS ESTIMATED AT 201,344 GAL / YEAR

TOTAL ESTIMATED WATER USE TO BE DETERMINED AT CONSTRUCTION PHASE WHEN IRRIGATION AND HYDROZONES ARE DESIGNED AND WATER USE CAN BE CALCULATED BASED ON ACTUAL IRRIGATION DESIGN AND LAYOUT.

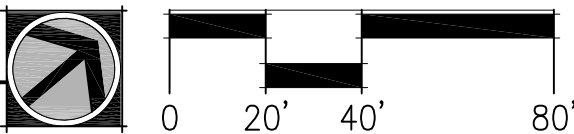
THE CONCEPTUAL DESIGN PROPOSES MOSTLY LOW WATER USE PLANTING WITH DROUGHT TOLERANCE, BUT MAY HAVE SOME LIMITED MODERATE WATER USE IN AREAS THAT ARE MORE FOCAL POINT AREAS FOR THE RESIDENTIAL USERS. THE ESTIMATED TOTAL WATER USE SHALL EXCEED THE WATER USE OF THE TURF AREA AND SHALL NOT EXCEED THE MAWA.

HIGHLY EFFICIENT IRRIGATION METHODS SHALL BE EMPLOYED AND HYDROZONES SHALL BE IN CONFORMANCE TO CURRENT MWEO STANDARDS AT THE TIME OF CONSTRUCTION. ALL HYDROZONES SHALL HAVE PLANTS THAT CONFORM TO EACH WATER USED DESIGNATED FOR THAT HYDROZONE AND NO HIGH WATER PLANTS SHALL BE PLACED IN A LOW WATER USE HYDROZONE.

PLANT PALETTE IS DESIGNED TO PLANTER SIZE, WATER HYDROZONES AND SAN MARCOS STANDARDS. PLEASE SEE ADDITIONAL WATER CONSERVATION NOTES AND STANDARDS ON SHEET L-3.

EXISTING TREE EXHIBIT

SCALE: 1" = 40' AT 24 X 36 SHEET



WATER EFFICIENT LANDSCAPE ORDINANCE REFERENCES

CITY OF SAN MARCOS 2009-1328, JANUARY 12, 2010, AMENDING THE MUNICIPAL CODE AND ADOPTING A NEW SECTION 2082
SECTION 2082.03 AND 2082.050, APPLICABILITY
CITY OF SAN MARCOS DEFINITIONS SECTION 2082.040 AND THE STATE TITLE 23 CHAPTER 21, MODEL WATER EFFICIENT LANDSCAPE ORDINANCE
MAXIMUM ALLOWABLE WATER USE (MAWA)
ESTIMATED TOTAL WATER USE (ETWU)
LANDSCAPE AREA.
"SPECIAL LANDSCAPE AREA"

CITY OF SAN MARCOS SECTION 2082.060: LANDSCAPE DOCUMENTATION PACKAGE SUBMITTAL (LDP) SHALL BE SUBMITTED WITH CONSTRUCTION

- DRAWINGS
A. WATER USE SUMMARY TABLE IS TO BE BASED ON INFORMATION PROVIDED IN THE LANDSCAPE MANUAL FOR THE CITY OF SAN MARCOS AND APPROXIMATED SQUARE FOOTAGES BASED ON IRRIGATION PLAN.
ADDITIONAL PLANTING AND IRRIGATION GENERAL NOTES ARE ON THE SHEETS L-1 AND L-4 AND L-11.
MAINTENANCE: ALL PLANTED AREAS SHOWN ON THE WATER CONSERVATION PLAN AND SHEET L-4, WILL BE PRIVATELY MAINTAINED BY THE HOA.
B. PLANTS HAVE BEEN SELECTED BASED ON WUCOLS IV FOR PLANT FACTOR WATER USE INFORMATION AND FOR THEIR AESTHETIC VALUE AS WELL AS FOR THEIR ABILITY TO THRIVE ON EXISTING SOLAR, WIND, AND WATER CONDITIONS OF THE SITE. THE PLANTS ARE WELL ADAPTED TO THE SAN MARCOS CLIMATE. EVEN THE PLANTS PROPOSED FOR USE IN THE STORMWATER BMP'S HAVE BEEN SELECTED FOR THEIR LOW-SUPPLEMENTAL-WATER USE.
C. THE SOIL SHALL BE AMENDED TO IMPROVE THE PLANT GROWTH ENVIRONMENT. GROUNDCOVERS SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN AND REDUCE EVAPOTRANSPIRATION. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. SHRUBS SHALL BE ALLOWED TO GROW TO THEIR NATURAL FORMS. THIS WILL WORK TOGETHER WITH THE GROUNDCOVERS AND MULCHES TO REDUCE THE EVAPOTRANSPIRATION RATES OF THE SOIL.
PROPER LANDSCAPE MAINTENANCE CAN CONSERVE ENERGY AND WATER. WATER RECYCLING IS ALSO A MEANS TO CONSERVE WATER, HOWEVER, NONE IS AVAILABLE TO THE SITE.
D. IRRIGATION NOTES FOR CONSTRUCTION DRAWINGS IN CONFORMANCE TO APPROVED CONCEPTUAL DRAWINGS:

- I. THE PROPOSED IRRIGATION FOR THE PROJECT SHALL BE DESIGNED AND INSTALLED TO PROVIDE THE OPTIMUM AMOUNT OF WATER TO THE LANDSCAPE FOR PLANT GROWTH WITHOUT CAUSING SOIL EROSION OR RUNOFF.
- 2. IRRIGATION PLANS SHALL PROMOTE THE INDUSTRY STANDARD FOR PUBLIC SAFETY AND WATER CONSERVATION IN ALL ASPECTS OF THE IRRIGATION SYSTEM.
- 3. ALL COMMON AREA SYSTEMS SHALL BE FROM A SEPARATE IRRIGATION METER AND CONTROLLED BY AN ET-BASED (SMART) CONTROLLER WITH A RAIN SHUTOFF DEVICE AND FLOW SENSING IN ORDER TO IMPROVE IRRIGATION EFFICIENCY AND WATER CONSERVATION.
- 4. ALL SYSTEMS SHALL OPERATE FROM AN AUTOMATIC CLOCK WITH MULTIPLE START TIMES, CAPABLE OF CYCLE AND SOAK.
- 5. THE AUTOMATIC CONTROLLER SHALL BE CAPABLE OF OVERIDING THE SYSTEMS BASED ON INFORMATION FROM SENSORS SUCH AS MOISTURE SENSOR, FLOW SENSOR, RAIN SENSOR, ET SENSOR WHICH SHALL BE PLACED AT STRATEGIC LOCATIONS, AS SPECIFIED BY PERFORMANCE SPECIFICATIONS OF MANUFACTURER.
- 6. DRIP OR MICROSPRAY IRRIGATION, PRECISION SPRAYS, ROTATOR OR ROTOR IRRIGATION SYSTEMS ARE PROPOSED FOR THE PROJECT IRRIGATION.
- 7. BUBBLER SYSTEMS MAY BE USED FOR TREES
- 8. ALL COMMON AREA LANDSCAPE SHALL BE FROM A SEPARATE POTABLE WATER LANDSCAPE IRRIGATION METER WITH BACKFLOW PREVENTION DEVICE, MASTER VALVE AND FLOW SENSOR AND ET BASED "SMART" CONTROLLER
- 9. THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH A LANDSCAPE IRRIGATION EFFICIENCY NECESSARY TO MEET THE MAWA. CONSTRUCTION DRAWINGS # INSTALLATION SHALL COMPLY WITH THE ORDINANCE WITH REGARDS TO THE MAWA AND ETWU.
- 10. IRRIGATION DESIGN SHALL ACCOMMODATE THE STATIC PRESSURES TO ENSURE THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITH IN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE.
- 11. SENSORS AND/OR RAIN SHUTOFF DEVICES PLUS PROPER PROGRAMMING OF WATER WINDOWS SHALL ENSURE THAT OVERHEAD IRRIGATION IS NOT OPERATING BETWEEN 10 AM AND 8 PM OR DURING RAIN OR EXCESSIVELY WINDY EVENTS.
- 12. PLANT SELECTION IS CLIMATE-BASED AND SUITABLE TO THE SITE'S ENVIRONMENTAL AND SOIL CONDITIONS. WATER CONSERVATION THROUGH DESIGN LAYOUT AND IRRIGATION HYDROZONING WILL ENSURE THAT THE PROPOSED LANDSCAPE SHALL NOT EXCEED THE MAWA (MAXIMUM ALLOWABLE WATER ALLOWANCE) FOR THE COMMON AREA LANDSCAPE. PLANS SHALL CONFORM TO STANDARDS AND LANDSCAPE CONSTRUCTION INSTALLATION SHALL MEET THE SAN MARCOS DEVELOPMENT CODE AND LANDSCAPE MANUAL STANDARDS.
- 13. THE IRRIGATION SYSTEM SHALL BE INSTALLED TO CONFORM TO THE HYDROZONES OF THE PLANTS SPECIFIED ON THE PLANTING PLAN.
- 14. THE SYSTEM SHALL BE DESIGNED TO PREVENT RUNOFF, OVER SPRAY, LOW-HEAD DRAINAGE AND OTHER CONDITIONS WHERE IRRIGATION WATER FLOWS OR SPRAYS ONTO AREAS NOT INTENDED FOR IRRIGATION.
- 15. OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN TWENTY FOUR INCHES (24") OF NON-PERMEABLE SURFACES.
- 16. NARROW OR IRREGULARLY SHAPED AREAS, INCLUDING TURF, LESS THAN EIGHT FEET (8') IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR LOW VOLUME IRRIGATION.
- 17. ONLY LOW VOLUME IRRIGATION SHALL BE INSTALLED FOR PLANTS IN MULCHED AREAS AND IF ANY PORTIONS OF SITE CONTAIN SLOPES WITH IRRIGATION ON THAT ARE GREATER THAN 25% SHALL HAVE A PRECIPITATION RATE OF .15 INCHES PER HOUR OR LESS TO PREVENT RUNOFF AND SOIL EROSION.
- 18. SPRINKLER HEADS AND OTHER LOW EMISSION DEVICES SHALL BE SELECTED AND INSTALLED BASED ON WHAT IS APPROPRIATE FOR THE PLANT TYPE IN THE HYDROZONE AND SHALL HAVE MATCHED PRECIPITATION RATES UNLESS OTHERWISE DIRECTED BY MANUFACTURER'S RECOMMENDATIONS.
- 19. EACH VALVE SHALL IRRIGATE A HYDROZONE WITH SIMILAR SITE, SLOPE, SUN EXPOSURE, SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATER USE.
- 20. SPRINKLER OR LOW EMISSION DEVICE SPACING SHALL BE INSTALLED TO ACHIEVE THE HIGHEST POSSIBLE DISTRIBUTION UNIFORMITY USING THE MANUFACTURER'S RECOMMENDATIONS.
- 21. MANUAL SHUT OFF VALVES SHALL BE PROVIDED AS CLOSE AS POSSIBLE TO THE WATER SUPPLY WITH ADDITIONAL MANUAL SHUTOFF VALVES INSTALLED BETWEEN EACH ZONE OF THE WATER SYSTEM AND THE WATER SUPPLY.
- 22. ANTI-DRAIN VALVES SHALL BE INSTALLED AS NEEDED TO PREVENT LOW HEAD DRAINAGE.
- 23. ONLY POP-UP DEVICES SHALL BE INSTALLED IN TURF AREAS, EXCEPT WHERE SUBSURFACE DRIP IS INSTALLED.
- 24. CITY APPROVED BACKFLOW PREVENTION DEVICE SHALL BE CERTIFIED.
- 25. THE POINT OF CONNECTION, ALL WIRING, ALL PIPE AND, SLEEVING, VALVES, EQUIPMENT, OPERATING PRESSURE AND VELOCITY CONSTRAINTS SHALL CONFORM TO THE CURRENT CITY CITY STANDARDS FOR DEVELOPMENT AND RESPECTIVE AGENCY GUIDELINES AND CODES.
- 26. NOTES INCLUDED ABOVE ARE HIGHLIGHTED PORTIONS OF THE MANUAL. THE PROJECT INSTALLATION SHALL CONFORM TO ALL OF THE CITY ORDINANCE, AS WELL AS NOTES, DETAILS AND SPECIFICATIONS ON THE APPROVED CONSTRUCTION DRAWINGS.



THE
LIGHTFOOT
PLANNING
GROUP

PLANNING
SITE DESIGN
LANDSCAPE
ARCHITECTURE

5900 PASTEUR COURT SUITE 110
CARLSBAD, CA 92008
(760) 692-1924

LIGHTFOOT@LIGHTFOOTPG.COM



MISSION 24 CONDOMINIUMS
1210 E. MISSION RD. TOWNHOMES
SAN MARCOS, CALIFORNIA

Scale: 1" = 40'

Date: 4/30/18

Drawn By: KC

Revisions:

7/16/18

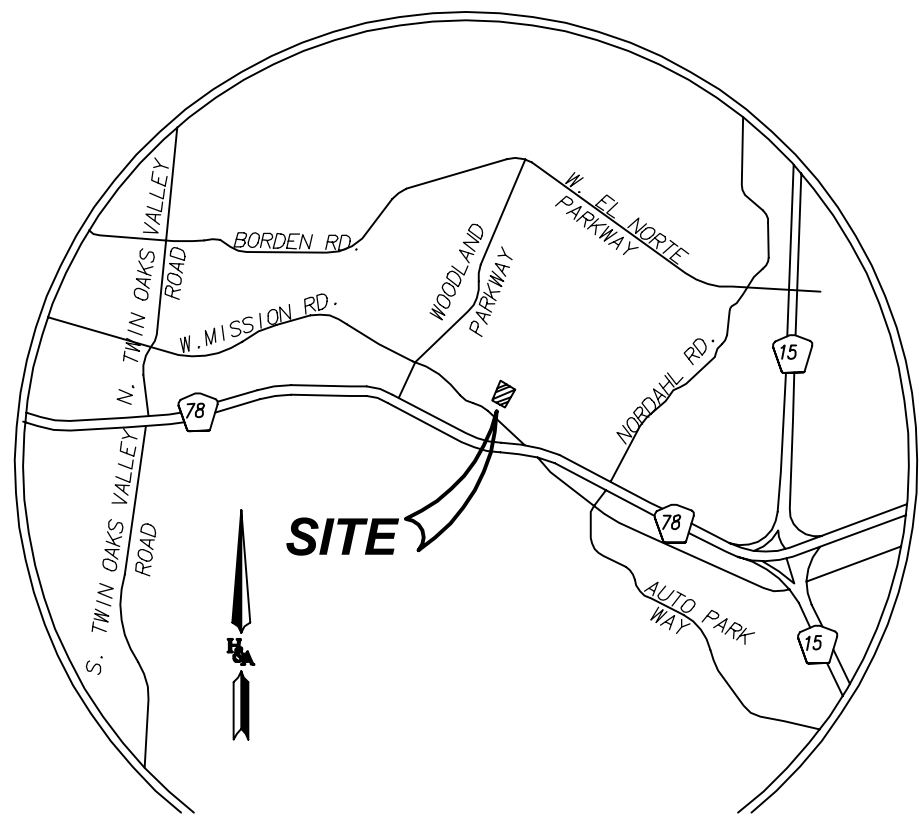
1/30/18

LANDSCAPE
CONCEPT
NOTES

Job # 642291

L-3
3

PRELIMINARY GRADING PLAN, SITE DEVELOPMENT PLAN
TENTATIVE MAP, VARIANCE, REZONE, & GENERAL PLAN AMENDMENT
MISSION 24
City of San Marcos, California



VICINITY MAP
NTS

LEGEND

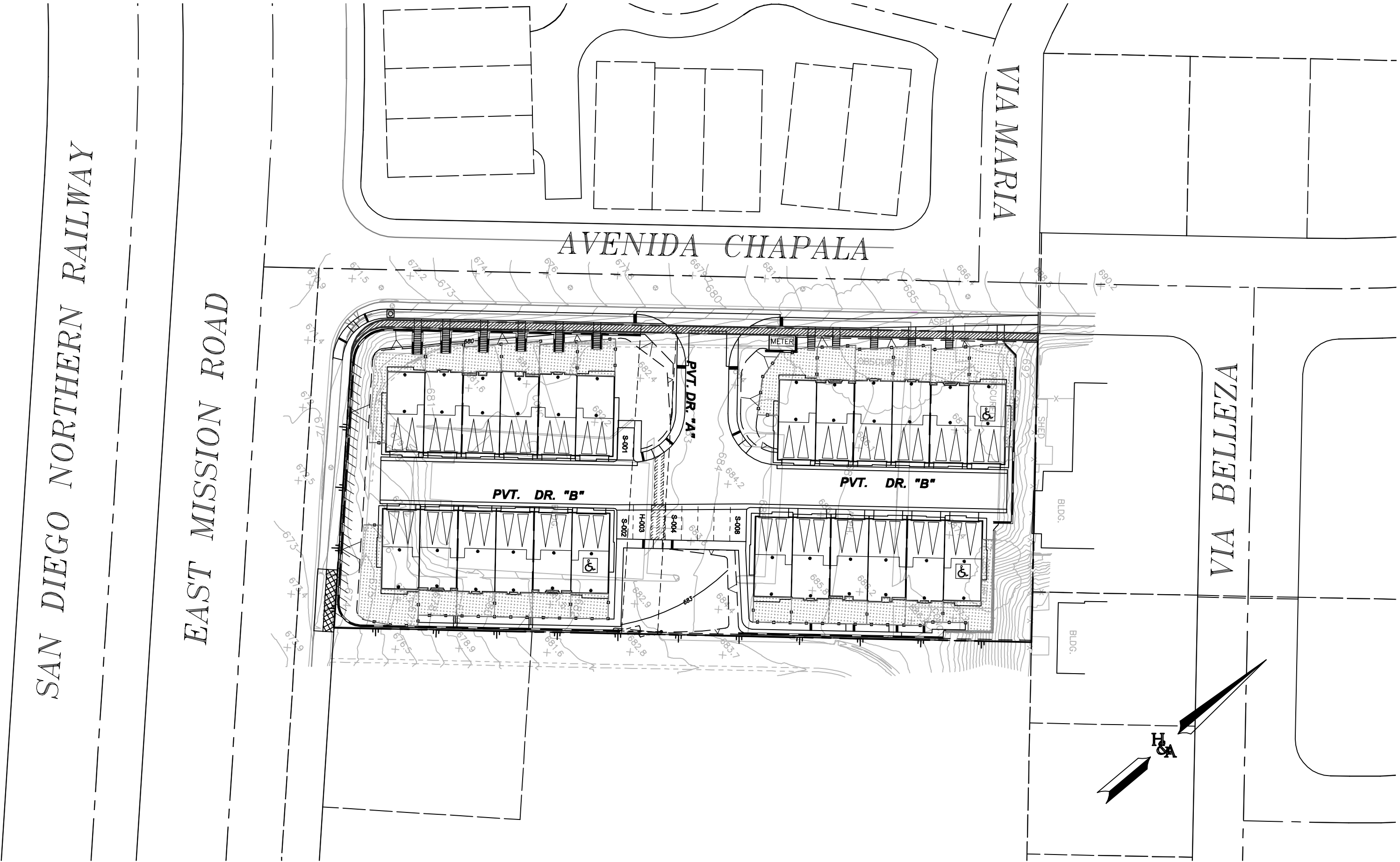
PROJECT BOUNDARY	=====
PROPOSED RIGHT-OF-WAY LINE	-----
PROPOSED SIDEWALK	=====
PROPOSED FUTURE SIDEWALK	-----
EXISTING GAS LINE	----- GAS -----
EXISTING SEWER MAIN WITH MANHOLE	----->O-----
EXISTING WATER MAIN	----- W -----
PROPOSED FIRE HYDRANT	----->X-----
EXISTING FIRE HYDRANT	----->X-----
EXISTING ST. LIGHT	----->●-----
PROPOSED ST. LIGHT	----->○-----
PROPOSED STORM DRAIN SYSTEM	===== PIPE ----- MODULAR WETLAND
PROPOSED STORM WATER VAULT	=====
EXISTING STORM DRAIN SYSTEM	===== CLEANOUT ----- CATCH BASIN/INLET
PROPOSED RETAINING WALL	=====
EXISTING RETAINING WALL	=====
PROPOSED STEM WALL	=====
% OF GRADE	1.27%
PROPOSED CENTERLINE PVT. ST. ELEVATION	528.0FS
EXISTING CONTOURS	600
PROPOSED SLOPE (2:1 MAX.)	V
PROPOSED PARKING	P-10
PROPOSED LANDSCAPE AREA	XXXXXX
DEDICATION AREA	XXXXXX
PROPOSED CUT/FILL LINE	-----C-----
PROPOSED SOUNDWALL
PROPOSED PATIO WALL	-----O-----
ACCESS RIGHTS RELINQUISHED	//////////

ABBREVIATIONS

FL	FLOW LINE	R/W	RIGHT OF WAY
TW	TOP OF WALL	PL	PROPERTY LINE
BW	BOTTOM OF WALL	GB	GRADE BREAK
TF	TOP OF FOOTING	PI	POINT OF INTERSECTION (V.C.)
FS	FINISH SURFACE	P	PAD ELEVATION
S	SEWER	SF	GROSS SQ. FT.
W	WATER	NSF	NET SQ. FT.
RW	RECLAIMED WATER	FP	FLOOD PLAIN
SD	STORM DRAIN	VC	VERTICAL CURVE
NTS	NOT TO SCALE	MH	MANHOLE
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
IE	INVERT ELEVATION	WM	WATER METER
BF	BACKFLOW	TP	TELEPHONE PED
T	TRANSFORMER PAD		

PUBLIC UTILITIES AND DISTRICTS

GAS AND ELECTRIC	SAN DIEGO GAS AND ELECTRIC
WATER	VISTA IRRIGATION DISTRICT
SEWER	VALLECITOS WATER DISTRICT
FIRE	SAN MARCOS FIRE PROTECTION DISTRICT
ELEMENTARY SCHOOL	SAN MARCOS UNIFIED SCHOOL DISTRICT
HIGH SCHOOL	SAN MARCOS UNIFIED SCHOOL DISTRICT



PROJECT MAP

SCALE: 1"=50'-0"

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	STREET SECTIONS AND DETAILS
SHEET 3	EXISTING SITE CONDITIONS
SHEET 4	PROPOSED PROJECT DESIGN
SHEET 5	FIRE EXHIBIT
SHEET 6	ACCESSIBLE ROUTE EXHIBIT
SHEET 7	TRASH CONTAINER LOCATION AND TURNING EXHIBIT
SHEET 8	RECORD BOUNDARY & ENCUMBRANCES

SOILS REPORT

PREPARED BY GEOCON INCORPORATED
DATED JANUARY 12, 2018.

WATER QUALITY

PREPARED BY H&A DATED AUGUST 14, 2018.

DRAINAGE REPORT

PREPARED BY H&A DATED AUGUST 20, 2018.

LEGAL DESCRIPTION

SEE SHEET 8.

EASEMENT NOTES

SEE SHEET 8.

TOPOGRAPHY

TOPO SOURCE: HUNSAKER & ASSOCIATES SAN DIEGO, INC.
FLOWN: 11-9-2017
DATUM: NAVD 88

CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF DWELLING UNITS IS 24.

PARKING SUMMARY

PARKING REQUIRED

TYPE	NO. UNITS	MULTIPLIER	SPACES REQ.
2 + BD/RM	24	2 spaces/unit	48
GUEST PARKING			
	24	1 space/3 units	8
TOTAL			56

PARKING PROVIDED

TYPE	SPACES
GARAGE	48
STANDARD	7
DISABLED	1
TOTAL	56

OPEN SPACE SUMMARY

OPEN SPACE REQUIRED

TYPE	MULTIPLIER	TOTAL AREA
COMMON OPEN SPACE	30% OF 11,380 SF (LIVABLE GROUND FLOOR AREA)	3,414 SF
PRIVATE OPEN SPACE	250 SF X 24 UNITS	6,000 SF

OPEN SPACE PROVIDED

TYPE	TOTAL AREA
COMMON OPEN SPACE	3,988 SF
PRIVATE OPEN SPACE	9,386 SF

ENGINEER



ALISA S. VIALPANDO R.C.E. 47945 DATE
MY REGISTRATION EXPIRES ON 12/31/19

LAND SURVEYOR



DOUGLAS B. STROUP DATE
P.L.S. NO. 8553

GENERAL NOTES

- GROSS SITE AREA: 1.518 ACRES
EXISTING NET SITE AREA (TOTAL SITE AREA - PUBLIC STREET DEDICATION): 1.483 ACRES
- EXISTING LOTS: 1
- PROPOSED LOTS: 1
- TOTAL TOWNHOME UNITS: 24
- ASSESSOR'S PARCEL NUMBER: 226-071-07-00
- EXISTING USE: COMMERCIAL BUILDING
- PROPOSED USE: MULTI-FAMILY TOWNHOMES
- EXISTING GENERAL PLAN DESIGNATION: NEIGHBORHOOD COMMERCIAL
- PROPOSED GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL 2, MDR2
- EXISTING ZONE: NEIGHBORHOOD COMMERCIAL, NC
- PROPOSED ZONE: R-3-10

GENERAL DESIGN NOTES

- ALL PRIVATE STREET DESIGNS, PRIVATE STREET LIGHTS, AND FIRE HYDRANTS SHALL CONFORM TO CITY OF SAN MARCOS DESIGN STANDARDS AND/OR AS APPROVED BY THE CITY ENGINEER.
- EASEMENTS SHALL BE PER CITY ENGINEER AND PUBLIC UTILITIES AND DISTRICTS.
- CONTOUR INTERVALS: 2 AND 10 FOOT
- FINISHED GRADES ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE IN FINAL DESIGN CONSISTENT WITH THE CITY'S SUBSTANTIAL CONFORMANCE POLICY.
- APPROXIMATE GRADING QUANTITIES CUT: 1,400 C.Y.
FILL: 1,400 C.Y.
QUANTITIES SHOWN ABOVE DO INCLUDE THE EFFECTS OF REMEDIAL GRADING.
- SOILS REPORT PREPARED BY GEOCON INCORPORATED DATED JANUARY 12, 2018
- CUT AND FILL SLOPES SHALL NOT EXCEED 2:1
- ALL PROPOSED UNITS SHALL BE ON A SANITARY SEWER SYSTEM.
- ALL PROPOSED SEWER AND WATER IMPROVEMENTS SHOWN ON THIS MAP SHALL BE PRIVATE WITHIN THE PROJECT BOUNDARY AND PUBLIC OUTSIDE OF THE BOUNDARY.
- INDIVIDUAL TRASH PICKUP FOR RESIDENTIAL UNITS.

OWNER'S CERTIFICATE


I (WE) HEREBY CERTIFY THAT I (WE) AM (ARE) THE RECORD OWNER OF THE PROPERTY SHOWN ON THE SITE DEVELOPMENT PLAN AND THAT SAID MAP SHOWS ALL MY (OUR) CONTIGUOUS OWNERSHIP IN WHICH I (WE) HAVE ANY DEED OR TRUST INTEREST. I (WE) UNDERSTAND THAT MY (OUR) PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, PRIVATE STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

APPLICANT

HALL LAND COMPANY, INC.
740 LOMAS SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CA 92075
858-481-3310

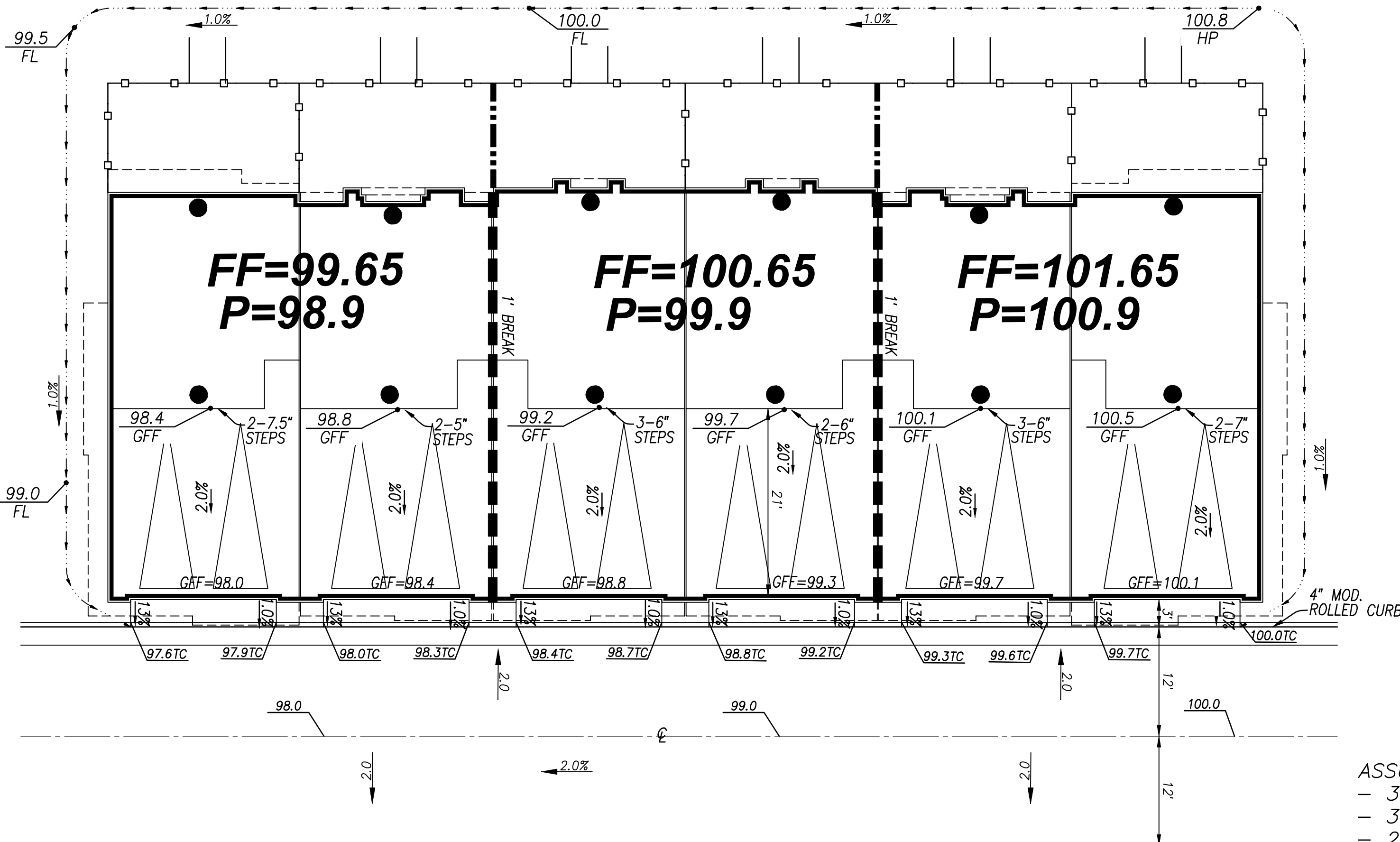
OWNER

WOODY, LLC
4633 INGRAHAM STREET, SUITE A
SAN DIEGO, CA 92109
619-379-3771

PREPARED BY:		NO. REVISIONS		DATE BY	
 HUNSAKER & ASSOCIATES SAN DIEGO, INC. PLANNING: 9707 Waples Street ENGINEERING: San Diego, CA 92121 SURVEYING: PH(858)558-4500 - FX(858)558-1414			1	FIRST SUBMITTAL	05/22/18 H&A
			2	2ND SUBMITTAL	08/20/18 H&A
			3	3RD SUBMITTAL	01/07/19 H&A
			4		
			5		
			6		
			7		
CITY OF SAN MARCOS					
TENTATIVE MAP NUMBER:					
OWNER: WOODY, LLC			PH: 619-379-3771		
ADDRESS: 4633 INGRAHAM STREET, SUITE A SAN DIEGO, CA 92109					
ENGINEER HUNSAKER & ASSOC., SAN DIEGO, INC.			PH: (858)558-4500		
ADDRESS: 9707 WAPLES ST., SAN DIEGO, CA 92121					
TYPE OF DEVELOPMENT: ATTACHED MULTI-FAMILY TOWNHOMES					
ZONING: R-3-10			ASSESSOR'S PARCEL NO(S): 226 071 07 00		
SITE DATA			DWELLING UNITS		
AREA (SQ. FT.)	COVERAGE %			OPEN SPACE DATA (S.F.)	
LOT:	66,114	100%	3 BDRM	16	COMMON PRIVATE
BUILDING:	22,795	34.5%	4 BDRM	8	1,346 9,386
STREET/DWY:	13,676	20.7%			2,950
LANDSCAPING:	28,126	42.5%			
DEDICATION	1,517	2.3%	TOTAL	24	4,296 9,386
PARKING	ORD. REQ.	56	DRIVE WAY (SIZE & SLOPE)	SETBACKS	
GARAGE	48	LOADING N/A	ONE WAY: XX	W. FRONT 70.3'	N. FRONT 15'
GUEST	7	HANDICAP 1	2-WAY: XX	REAR 10'	INT. SIDE 10'
OPEN	N/A	TOTAL 56	SLOPE: XX	ACCES. BLDG.—	

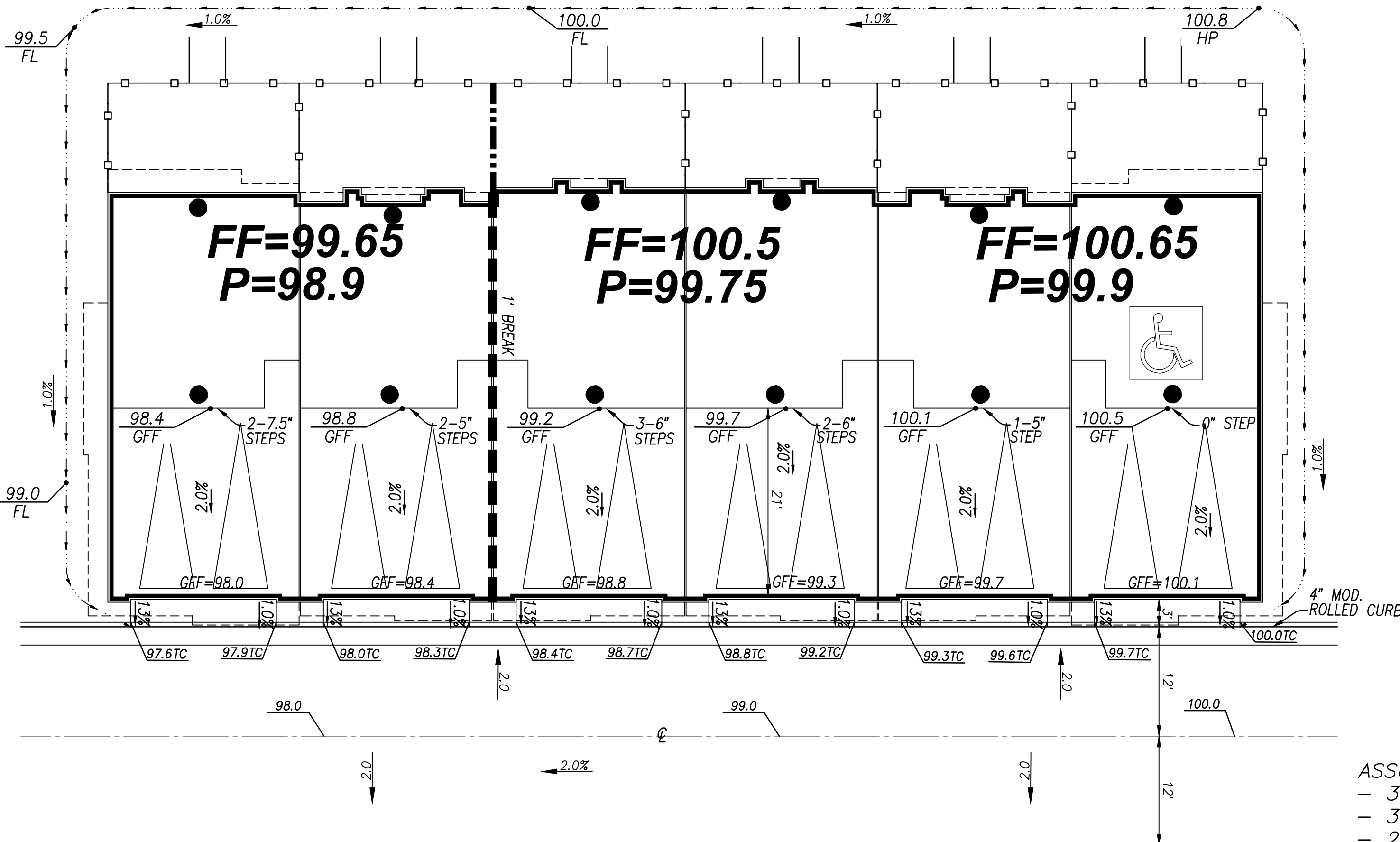
PGP, SDP, TM, VARIANCE,
REZONE, & GPA
MISSION 24
City of San Marcos, California

SHEET
1
OF
8



6-PLEX BLDG. TYPE

DRIVEWAY/GARAGE DETAIL

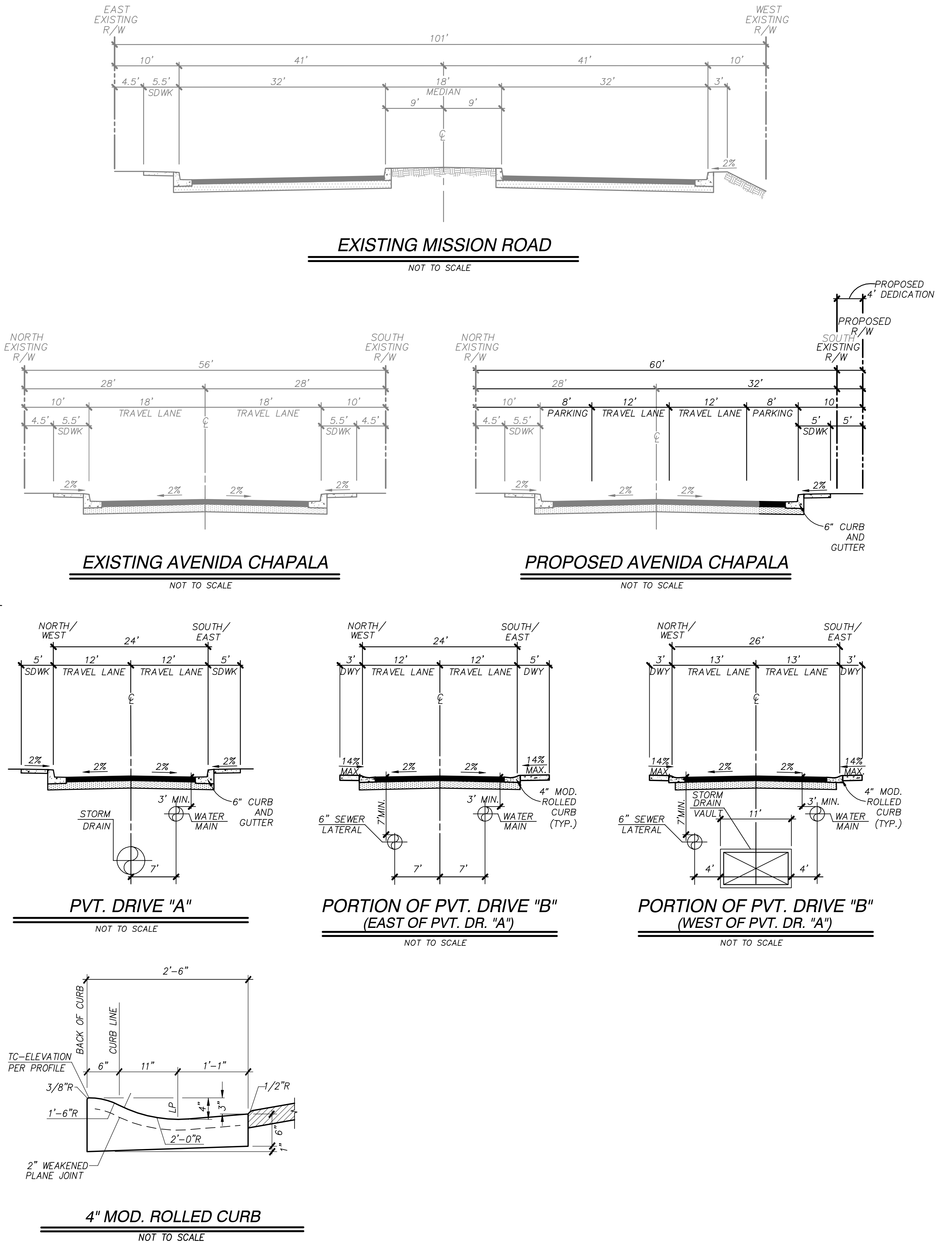


6-PLEX BLDG. ACCESSIBLE UNIT

DRIVEWAY/GARAGE DETAIL

- ASSUMPTIONS:
- 3' DRIVEWAY
 - 3~7.5" STEPS MAX.
 - 2.0% MAX. SLOPE IN GARAGE
 - 14% MAX DRIVEWAY
 - 9" Post-Tension Slab
 - (1) 1.0' Slab Break

- ASSUMPTIONS:
- 3' DRIVEWAY
 - 3~7.5" STEPS MAX.
 - 2.0% MAX. SLOPE IN GARAGE
 - 14% MAX DRIVEWAY
 - 9" Post-Tension Slab
 - (1) 1.0' Slab Break

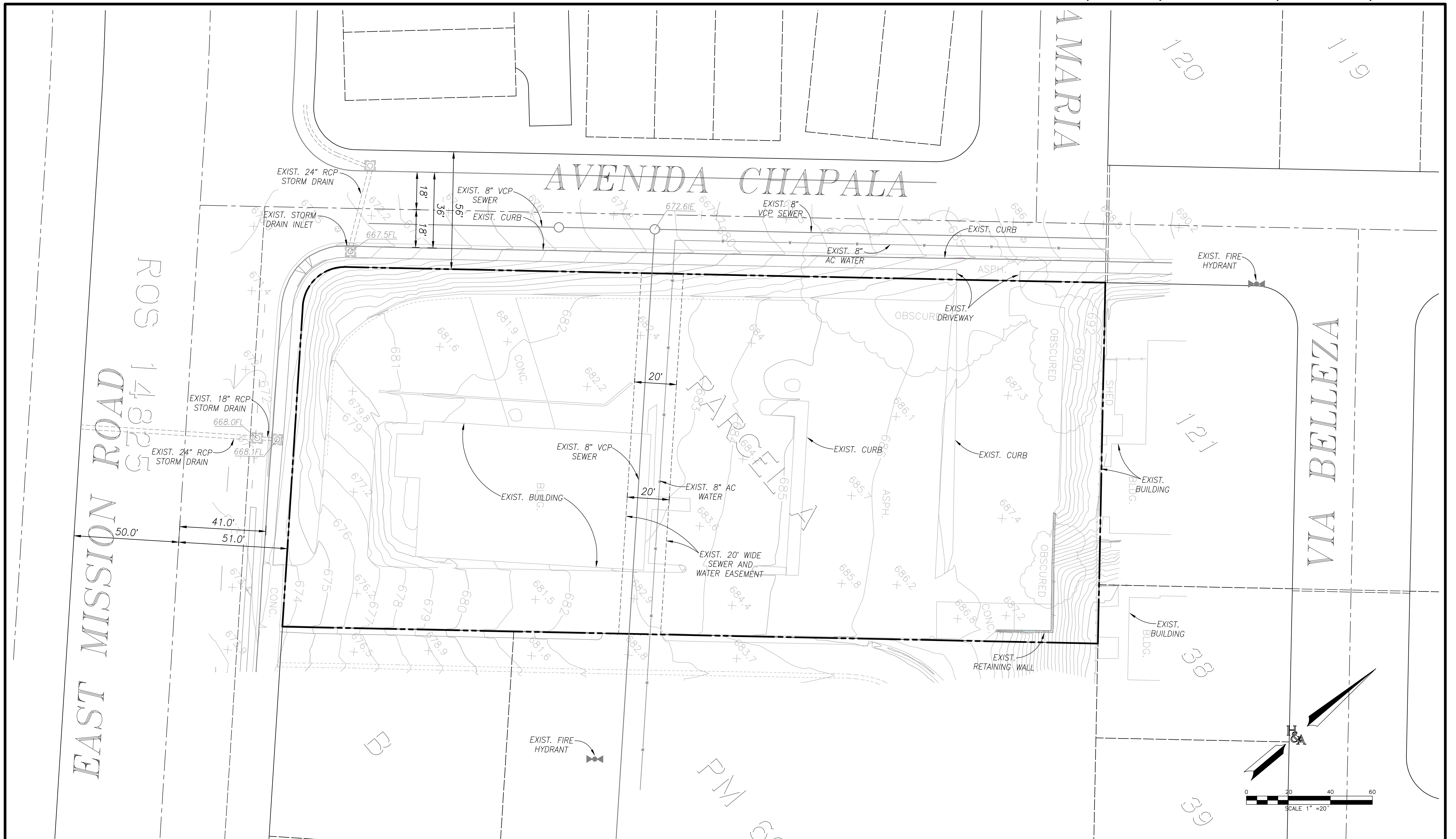


STREET SECTIONS & DETAILS

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, INC.
PLANNING: 9707 Waples Street
ENGINEERING: San Diego, Ca 92121
SURVEYING: PH(650)558-4500 - FX(650)558-1414

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2
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EXISTING SITE CONDITIONS

PREPARED BY:

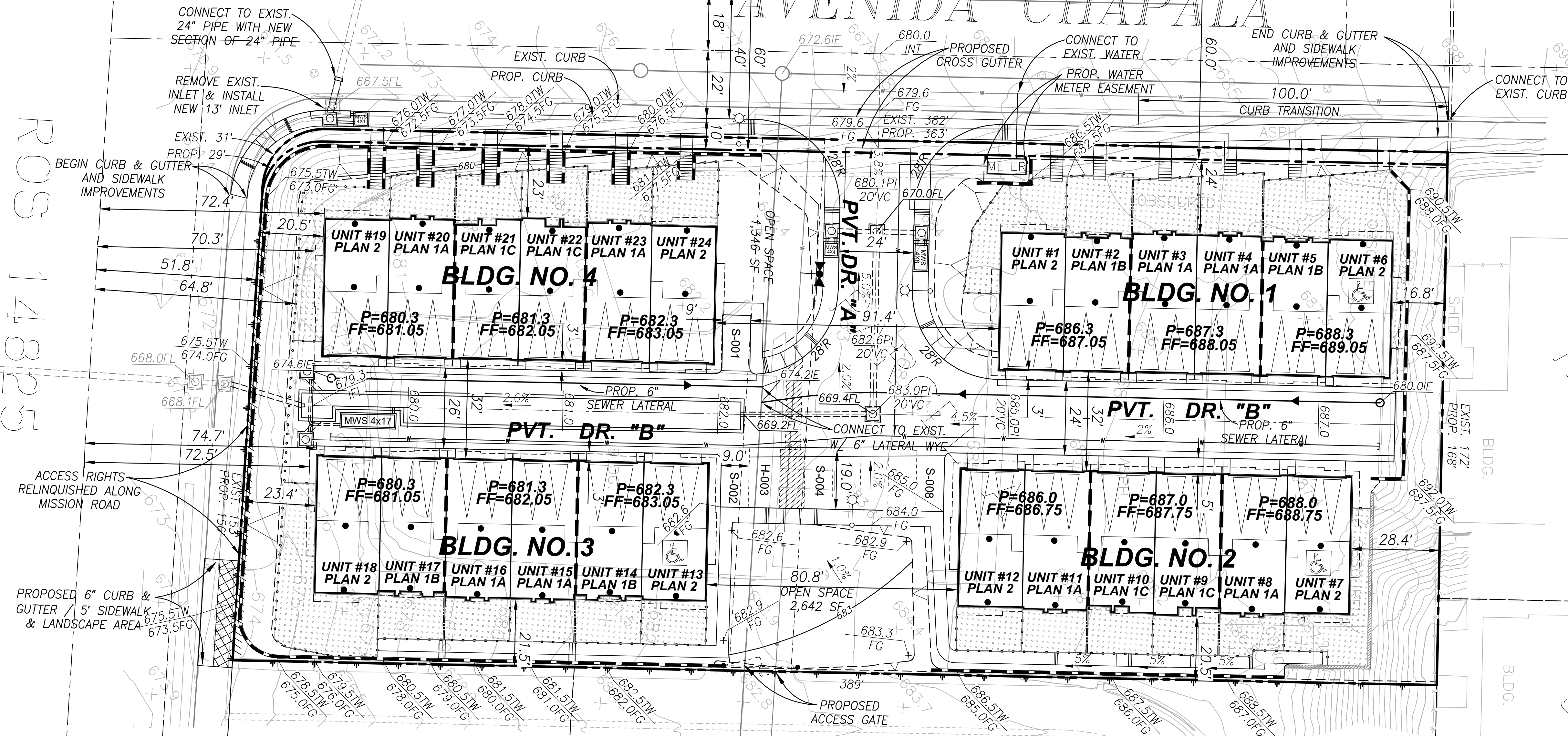


**HUNSAKER
& ASSOCIATES**
SAN DIEGO, INC.

PLANNING 9707 Waples Street
ENGINEERING San Diego, Ca 92121
SURVEYING PH(858)558-4500 · FX(858)558-1414

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8



ENTRY RAMP DETAIL
1" = 10'

PREPARED BY:



PLANNING: 9707 Waples Street
ENGINEERING: San Diego, Ca 92121
SURVEYING: PH(658)558-4500 - FX(658)558-1414

PROPOSED PROJECT DESIGN

**PGP, SDP, TM, VARIANCE,
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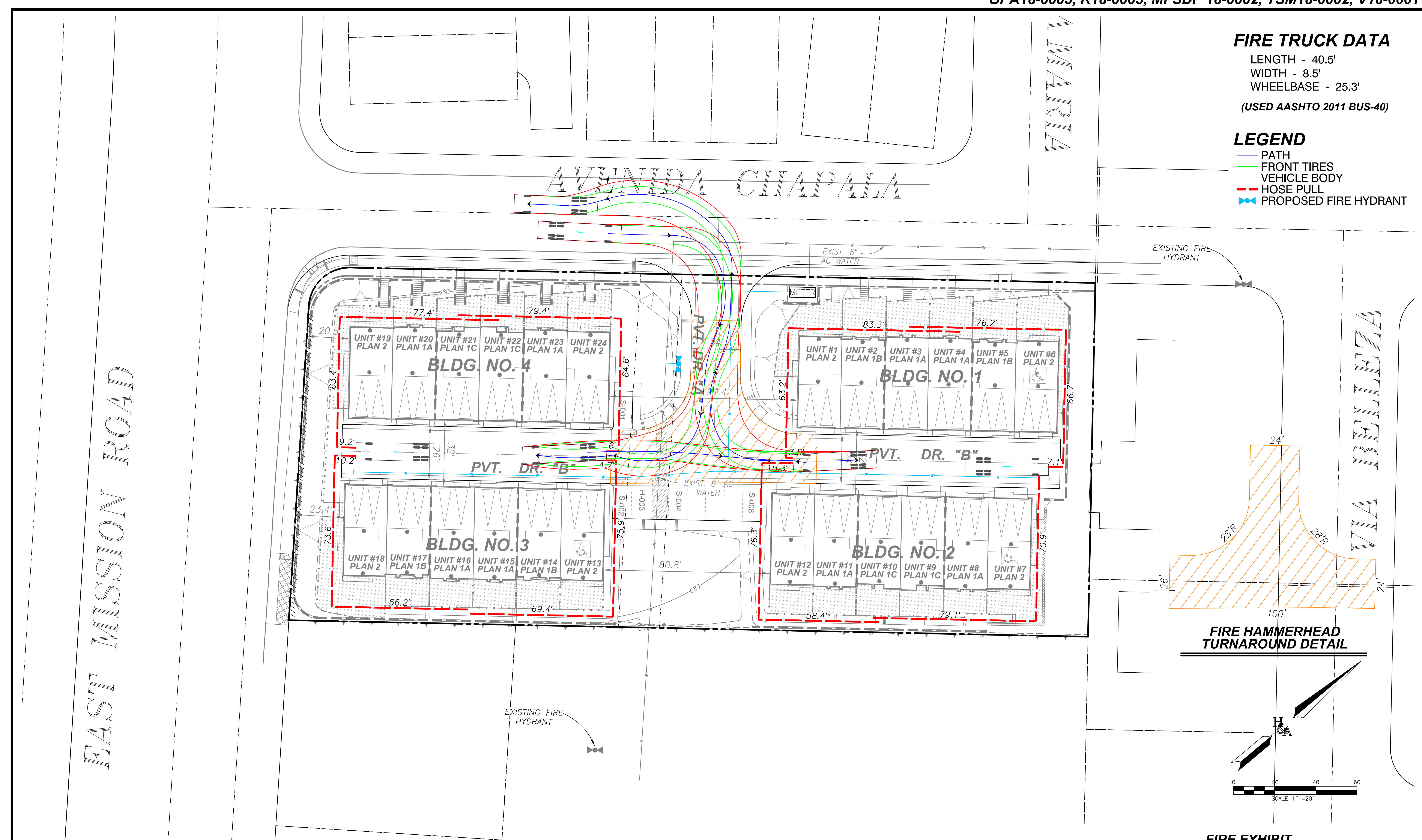
FIRE TRUCK DATA

LENGTH - 40.5'
WIDTH - 8.5'
WHEELBASE - 25.3'

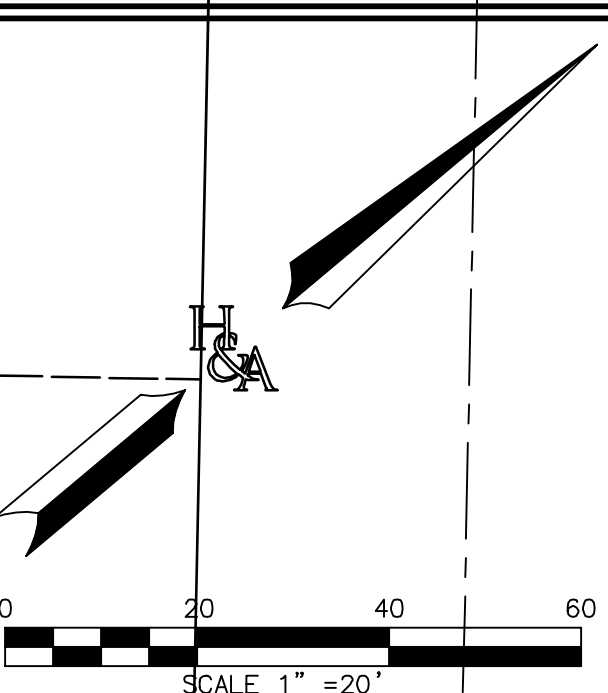
(USED AASHTO 2011 BUS-40)

LEGEND

- PATH
- FRONT TIRES
- VEHICLE BODY
- HOSE PULL
- PROPOSED FIRE HYDRANT



**FIRE HAMMERHEAD
TURNAROUND DETAIL**



FIRE EXHIBIT

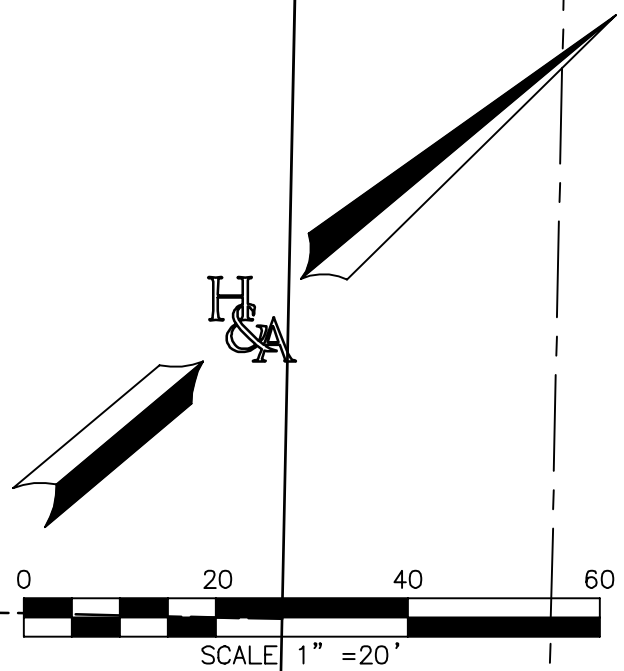
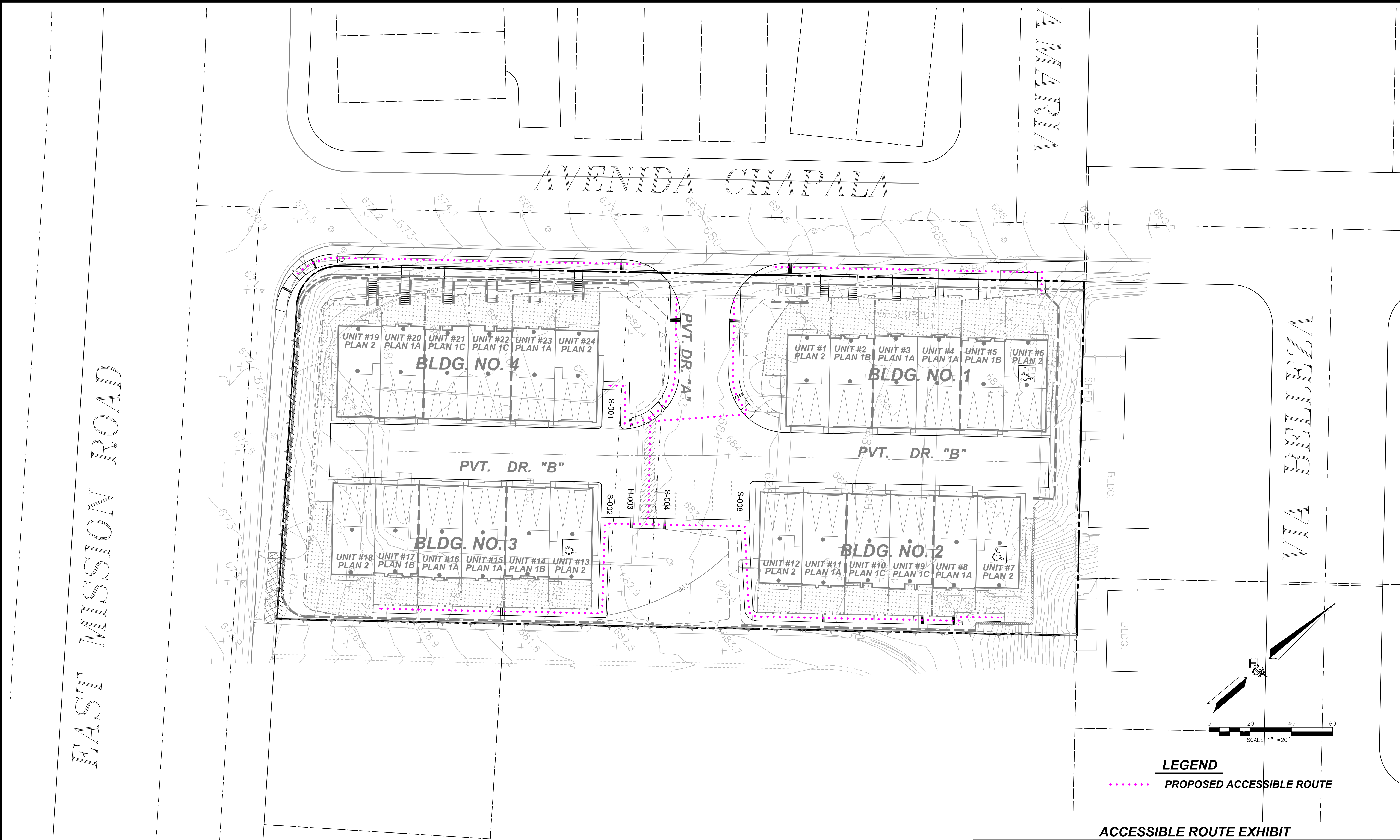
PREPARED BY:



PLANNING: 9707 Waples Street
ENGINEERING: San Diego, Ca 92121
SURVEYING: PH(658)558-4500 - FX(658)558-1414

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5
OF
8



LEGEND

..... PROPOSED ACCESSIBLE ROUTE

ACCESSIBLE ROUTE EXHIBIT

PREPARED BY:



HUNSAKER
& ASSOCIATES
SAN DIEGO, INC.

PLANNING: 9707 Waples Street
ENGINEERING: San Diego, Ca 92121
SURVEYING: PH(658)558-4500 FX(658)558-1414

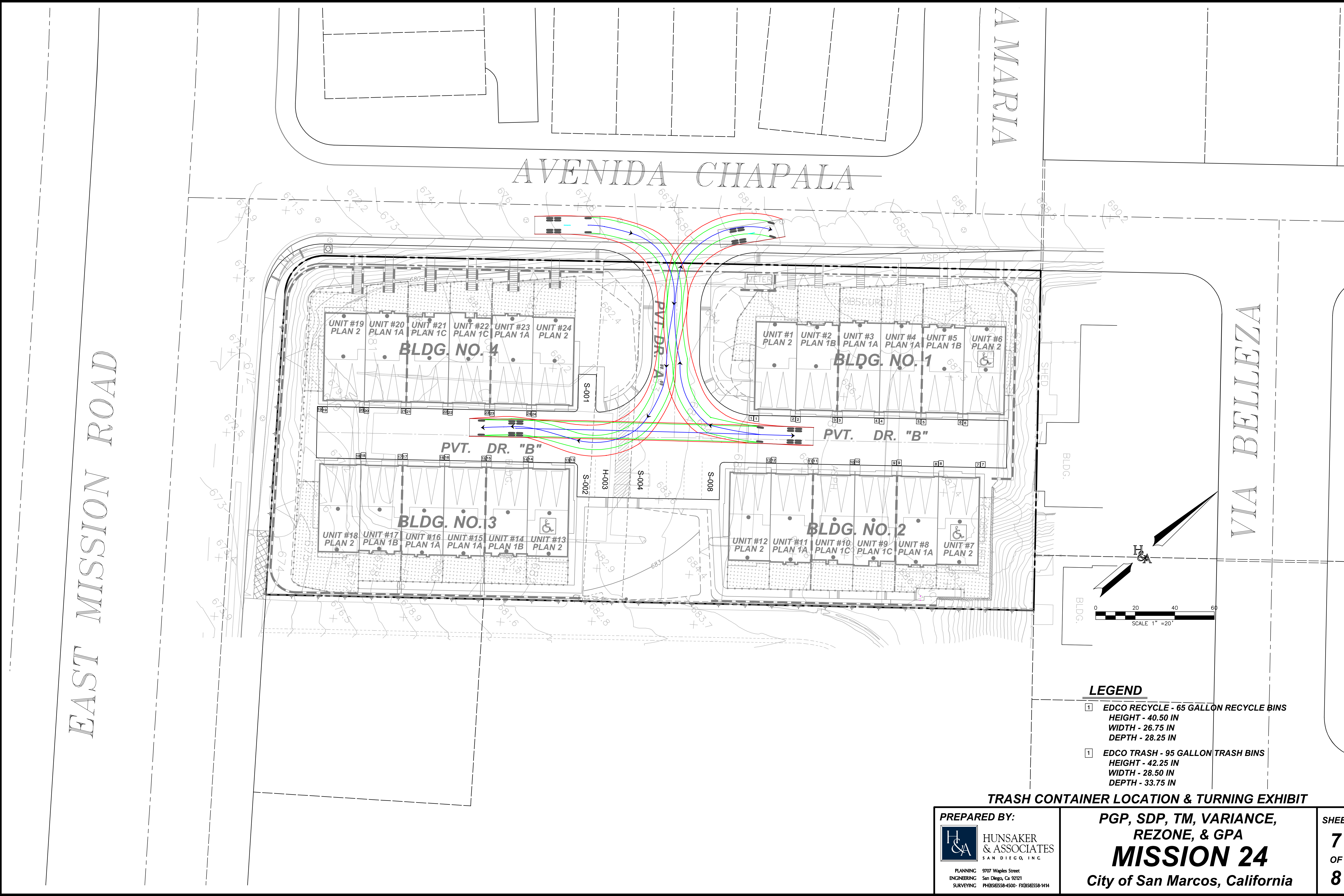
PGP, SDP, TM, VARIANCE,
REZONE, & GPA

MISSION 24

City of San Marcos, California

SHEET

**6
OF
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LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN MARCOS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A OF PARCEL MAP NO. 6024, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON JUNE 8, 1977, BEING A DIVISION OF A PORTION OF LOTS 1, 2, AND 4 IN BLOCK 3 OF BENNETT ORCHARD ESTATES, UNIT NO. 1, IN THE CITY OF SAN MARCOS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2065, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON OCTOBER 17, 1927.

APN 226-071-07-00

ENCUMBRANCES

EXCEPTIONS PER CHICAGO TITLE COMPANY REPORT ORDER NO. 00078877-004-RM1-CF2 DATED OCTOBER 25, 2017.

- A. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
- TAX IDENTIFICATION NO.: 226-071-07-00
FISCAL YEAR: 2017-2018
1ST INSTALLMENT: \$6,104.47, UNPAID (DELINQUENT AFTER DECEMBER 10)
PENALTY: \$610.44
2ND INSTALLMENT: \$6,104.47, UNPAID (DELINQUENT AFTER APRIL 10)
PENALTY AND COST: \$620.44
CODE AREA: 13029
- B. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.
1. PRIVILEGE AND RIGHT TO EXTEND DRAINAGE STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS OF RIGHT OF WAY, WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE OF SAID RIGHT OF WAY AS CONTAINED IN THE DOCUMENT SET FORTH BELOW:
- RECORDING DATE: MAY 3, 1971
RECORDING NO.: 90016 OF OFFICIAL RECORDS
2. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
- RECORDING DATE: DECEMBER 6, 1976
RECORDING NO.: 76-406960 OF OFFICIAL RECORDS
3. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
- RECORDING DATE: OCTOBER 19, 1977
RECORDING NO.: 77-429018 OF OFFICIAL RECORDS
- THE DECLARANT'S INTEREST IN SAID INSTRUMENT NOW VESTS IN NILOOFAR INVESTMENTS, LLC, A CALIFORNIA CORPORATION.
- RELEASE OF RIGHT OF FIRST REFUSAL RECORDED OCTOBER 5, 1990, AS INSTRUMENT NOS. 90-546246 AND 90-546247 OF OFFICIAL RECORDS.
- MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS AND RIGHT OF FIRST REFUSAL
- RECORDING DATE: NOVEMBER 2, 2017 RECORDING NO: 2017-0511312 OFFICIAL RECORDS
4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:
- GRANTED TO: VISTA IRRIGATION DISTRICT
PURPOSE: PIPELINE OR PIPELINES
RECORDING DATE: OCTOBER 19, 1977
RECORDING NO: 77-430910 OF OFFICIAL RECORDS
AFFECTS: THE NORTHEASTERLY 20.00 FEET OF THE SOUTHWESTERLY 180.00 FEET OF PARCEL "A" OF PARCEL MAP NO. 6024
5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:
- GRANTED TO: SAN MARCOS COUNTY WATER DISTRICT
PURPOSE: PIPELINE OR PIPELINES AND APPURTENANCES THERETO
RECORDING DATE: OCTOBER 19, 1977
RECORDING NO: 77-430914 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND
6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:
- GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS
RECORDING DATE: MAY 9, 1979
RECORDING NO: 79-190845 OF OFFICIAL RECORDS
AFFECTS: THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.
7. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.
8. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
9. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
10. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
- THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.
- THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.



RECORD BOUNDARY AND ENCUMBRANCES

PREPARED BY:



HUNSAKER
& ASSOCIATES
SAN DIEGO, INC.

PLANNING: 9707 Waples Street
ENGINEERING: San Diego, Ca 92121
SURVEYING: PH(658)558-4500- FX(658)558-1414

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MISSION 24
City of San Marcos, California

SHEET
8
OF
8