



ATTACHMENT E

ARCHITECTURAL PLANS



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SAN MARCOS, CA

Capalina SMA, LLC
 179 Calle Magdalena #201
 Encinitas, CA 92024
 Attn: Jon Rilling

CAPALINA APTS

MAY 30, 2023

SCALE:

TITLE SHEET



5256 S. Mission Road, Ste 404
 Bonsall, CA 92003
 760.724.1198

A-TS

PROJECT SUMMARY

4-STORY STACKED FLATS
 CONSTRUCTION TYPE V-A (1-HOUR)
 OCCUPANCY R-2 / B
 SPRINKLERS NFPA 13

ADDRESS CAPALINA ROAD
 APN 2191153300
 EXISTING ZONING MU-3
 PROPOSED ZONING MU-2

COMMERCIAL 4,000 SF*

TOTAL HOMES 119 APTS
 GROSS AREA 2.51 AC
 NET AREA 2.41 AC
 DENSITY 47.4 DU/AC
 PARKING 147 SPACES
 FAR 1.24

UNIT MIX			
11	PLAN 1	STUDIO/1BA	600 SF
8	PLAN 2	1BD/1BA	680 SF
45	PLAN 3	1BD/1BA	710 SF
6	PLAN 4	2BD/1BA	925 SF
41	PLAN 5	2BD/2BA	1,080 SF
8	PLAN 6	3BD/2BA	1,130 SF
119	TOTAL UNITS		

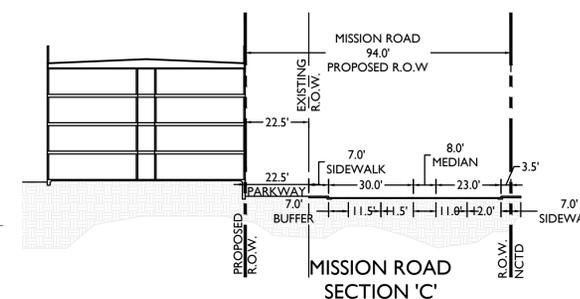
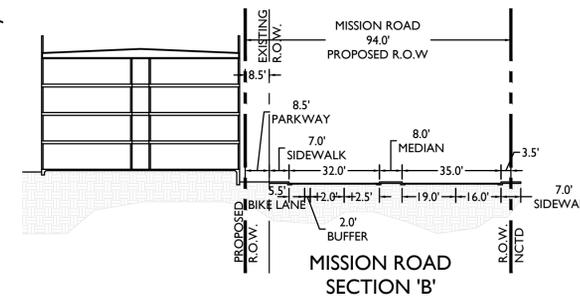
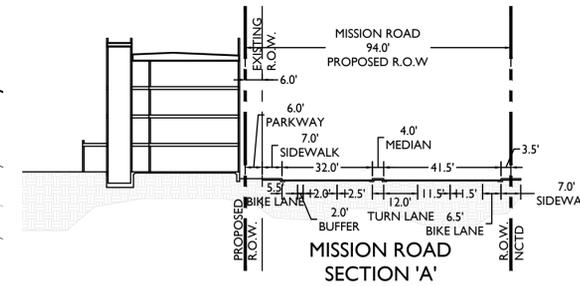
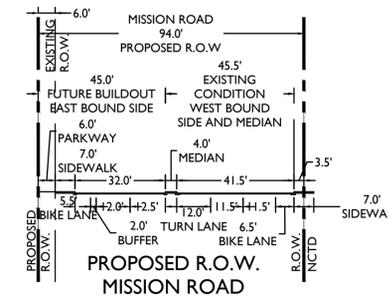
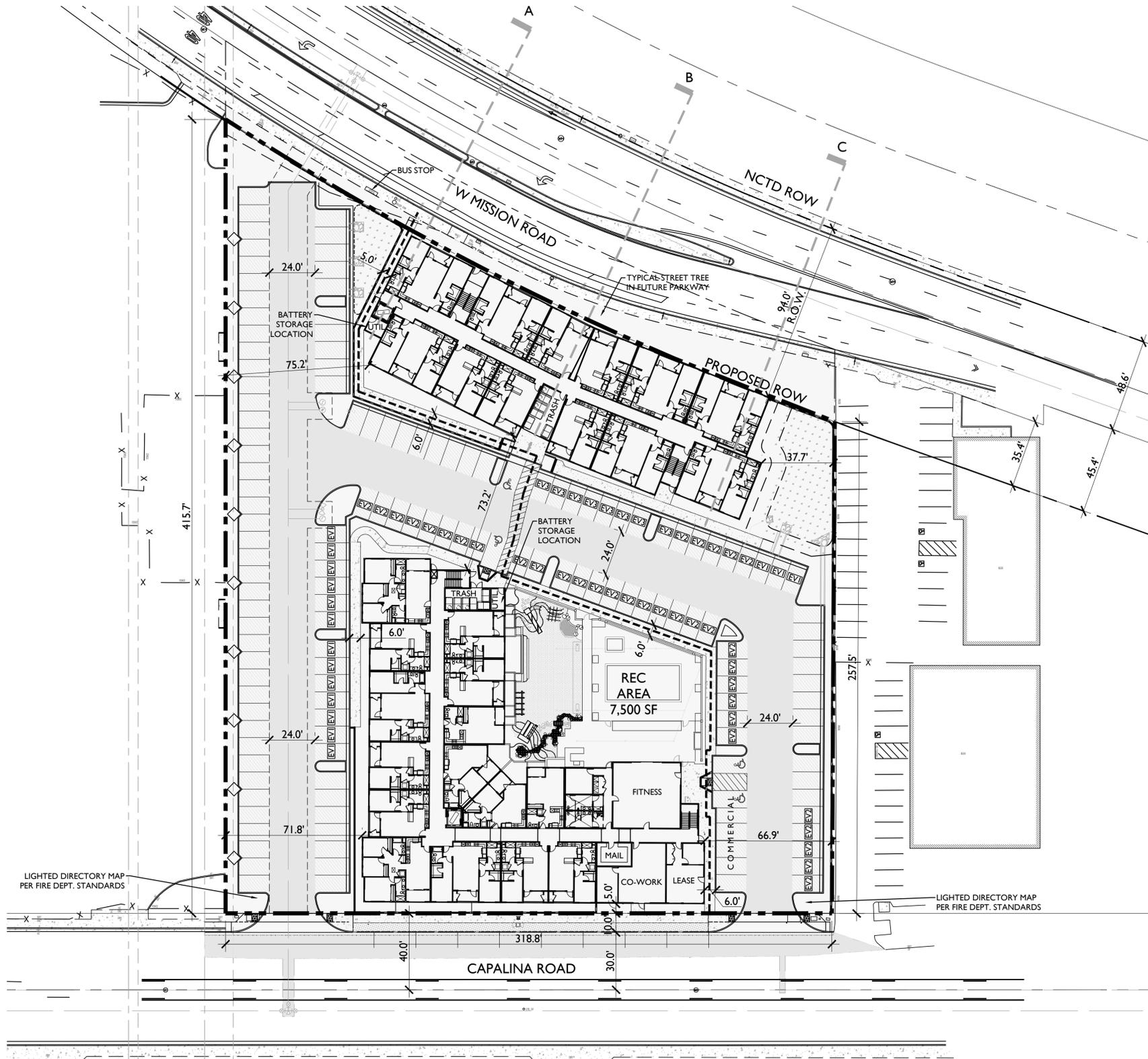
PARKING SUMMARY*
 RESIDENTIAL
 TOTAL REQUIRED 142 SP

COMMERCIAL PARKING
 TOTAL REQUIRED 5 SP

TOTAL PROVIDED 147 SP

OPEN SPACE**
 PRIVATE 7,632 SF
 INDOOR COMMON 1,250 SF
 OUTDOOR COMMON 25,700 SF
 TOTAL 34,582 SF

*PARKING PER STATE DENSITY BONUS LAW AND INCENTIVE ALLOWANCE
 **REFER TO SHEET A-SP2 FOR DETAILED INFORMATION



LEGEND

- ACCESSIBLE SPACE
- ACCESSIBLE PATH OF TRAVEL
- EV CAPABLE SPACE
- EV READY SPACE
- EV CHARGERS
- RETAINING WALL

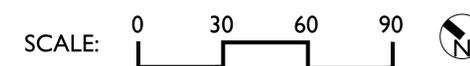


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OCTOBER 17, 2023



CONCEPTUAL SITE PLAN



5256 S. Mission Road, Ste 404
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A-SP



COMMERCIAL LEGEND

- CO-WORK
- LEASING
- MAIL
- RESTROOMS
- TRASH / CORRIDORS
- FITNESS CENTER/ MTG ROOM

PARKING LEGEND

- RESIDENTIAL
- COMMERCIAL
- EV CAPABLE
- EV READY
- EV CHARGERS
- ACCESSIBLE SPACES

OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
- COMMON INDOOR SPACE
- COMMON OUTDOOR SPACE

COMMERCIAL SUMMARY

CO-WORK	950 SF
LEASING	650 SF
MAIL	250 SF
RESTROOMS	400 SF
TRASH /CORRIDORS	500 SF
FITNESS / MEETING ROOM	1,250 SF
TOTAL	4,000 SF

PARKING SUMMARY

RESIDENTIAL PARKING	
TOTAL REQUIRED	142 SP
TOTAL PROVIDED	142 SP

ACCESSIBLE PARKING

RESIDENTIAL 142 SP X 2% =	3 SP REQ. / 3 SP PROVIDED
COMMERCIAL 5 SP =	1 SP REQ. / 1 SP PROVIDED

ELECTRIC VEHICLE PARKING

EV CAPABLE	
142 SP X 10% =	15 SP REQ. / 15 SP PROVIDED
EV READY	
142 SP X 25% =	36 SP REQ. / 36 SP PROVIDED
EV CHARGERS	
142 SP X 5% =	8 SP REQ. / 8 SP PROVIDED

COMMERCIAL PARKING

TOTAL REQUIRED	5 SP
TOTAL PROVIDED	5 SP

BICYCLE PARKING

4,000 SF / 1,000 SF = 4.0 X .75 3 SP REQ. / 3 SP PROVIDED

OPEN SPACE SUMMARY

PRIVATE OPEN SPACE		
PLAN 1	11 X 50 SF	550 SF
PLAN 2	8 X 80 SF	640 SF
PLAN 3	45 X 60 SF	2,700 SF
PLAN 4	6 X 66 SF	396 SF
PLAN 5	41 X 66 SF	2,706 SF
PLAN 6	8 X 80 SF	640 SF
SUBTOTAL		7,632 SF

COMMON INDOOR SPACE

FITNESS / MEETING ROOM	1,250 SF
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COMMON OUTDOOR SPACE

ROOF DECK	1,285 SF
AT GRADE	24,415 SF
SUBTOTAL	25,700 SF

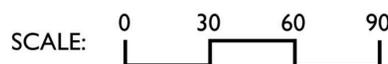
TOTAL OPEN SPACE 34,582 SF (32% OF SITE AREA)

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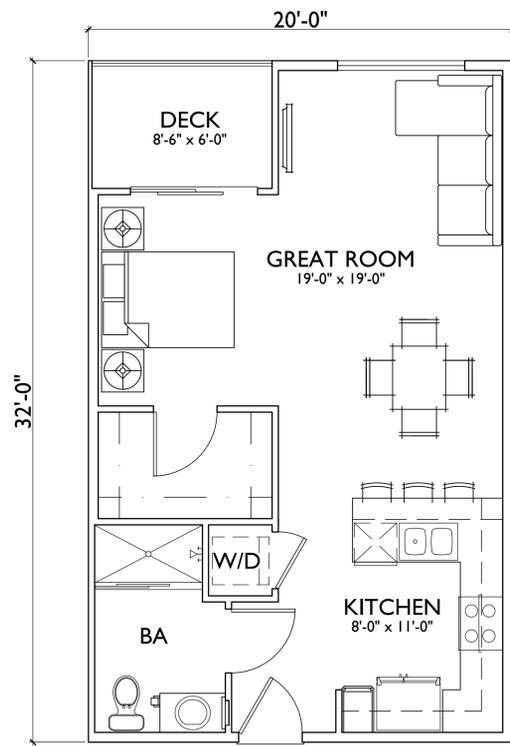


SITE PLAN EXHIBIT

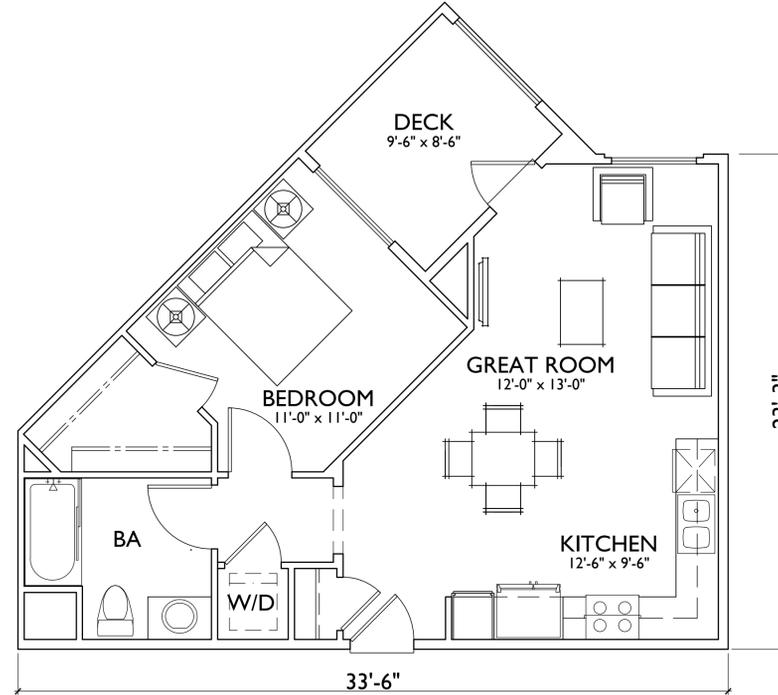


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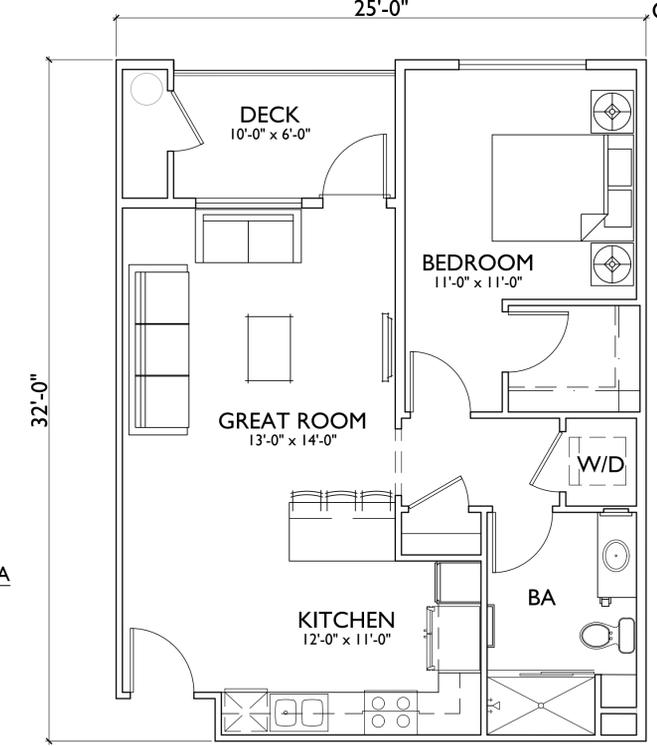
A-SP2



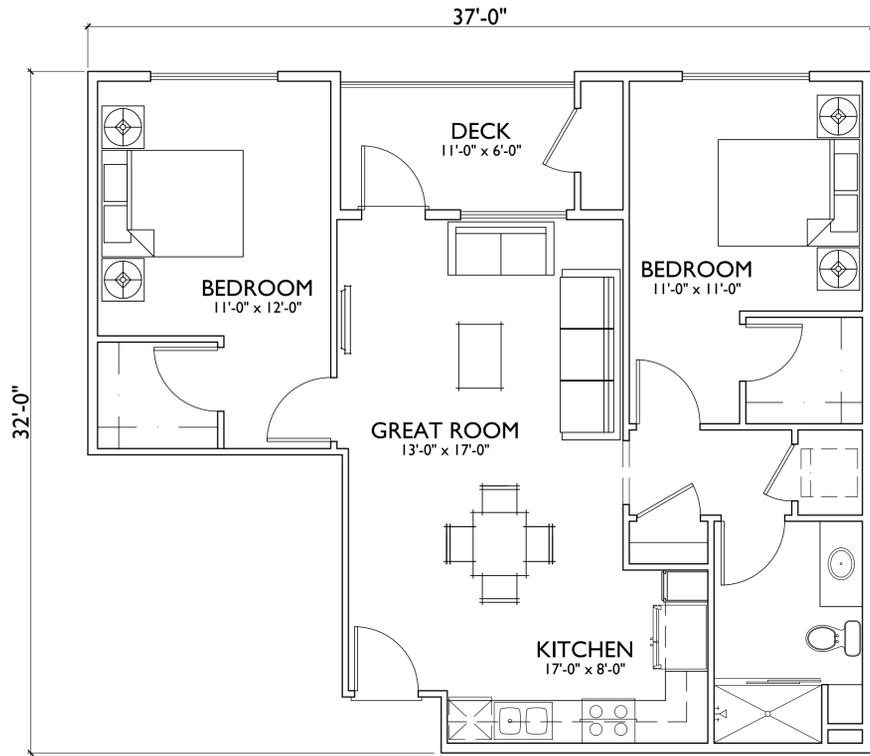
PLAN 1: 0BD/1BA
 NET TOTAL 560 S.F.
 GROSS TOTAL 600 S.F.
 DECK 50 S.F.



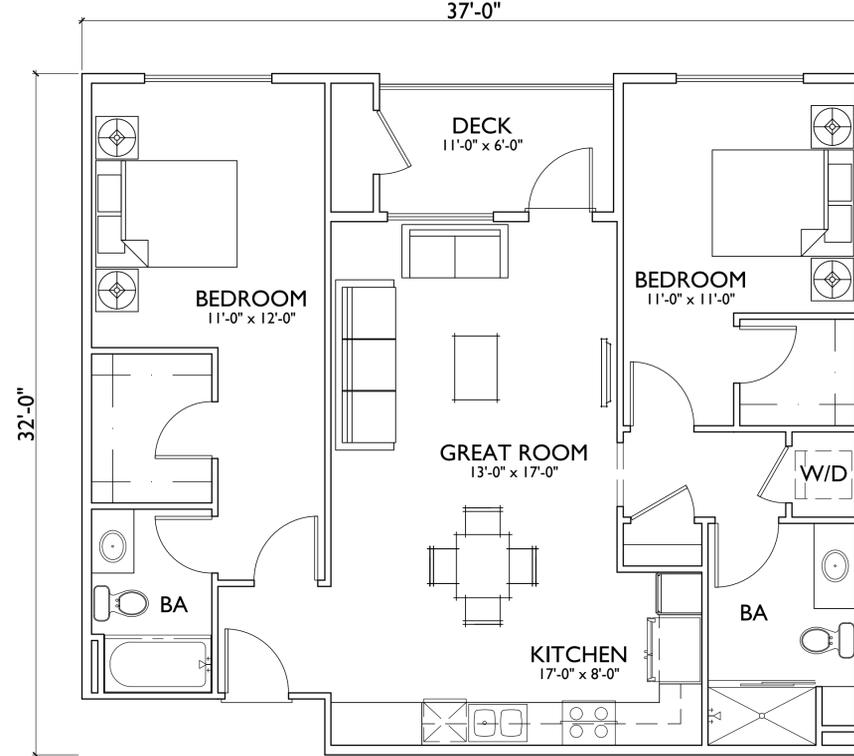
PLAN 2: 1BD/1BA
 NET TOTAL 630 S.F.
 GROSS TOTAL 680 S.F.
 DECK 80 S.F.



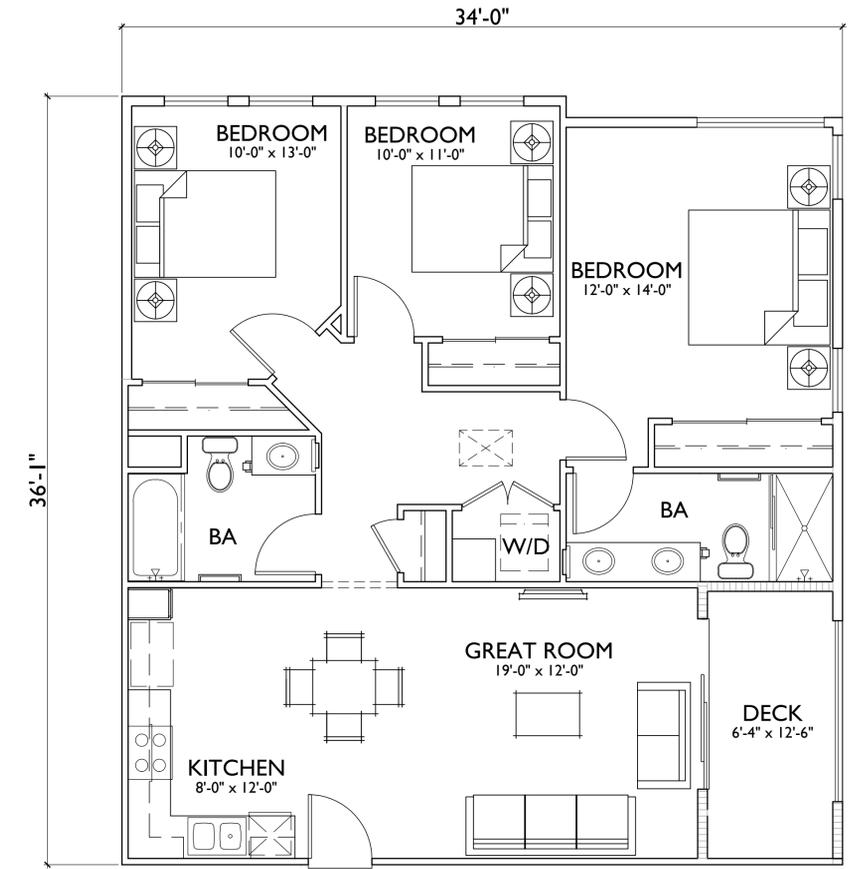
PLAN 3: 1BD/1BA
 NET TOTAL 670 S.F.
 GROSS TOTAL 710 S.F.
 DECK 60 S.F.



PLAN 4: 2BD/1BA
 NET TOTAL 860 S.F.
 GROSS TOTAL 925 S.F.
 DECK 66 S.F.



PLAN 5: 2BD/2BA
 NET TOTAL 1015 S.F.
 GROSS TOTAL 1080 S.F.
 DECK 66 S.F.



PLAN 6: 3BD/2BA
 NET TOTAL 1080 S.F.
 GROSS TOTAL 1130 S.F.
 DECK 80 S.F.

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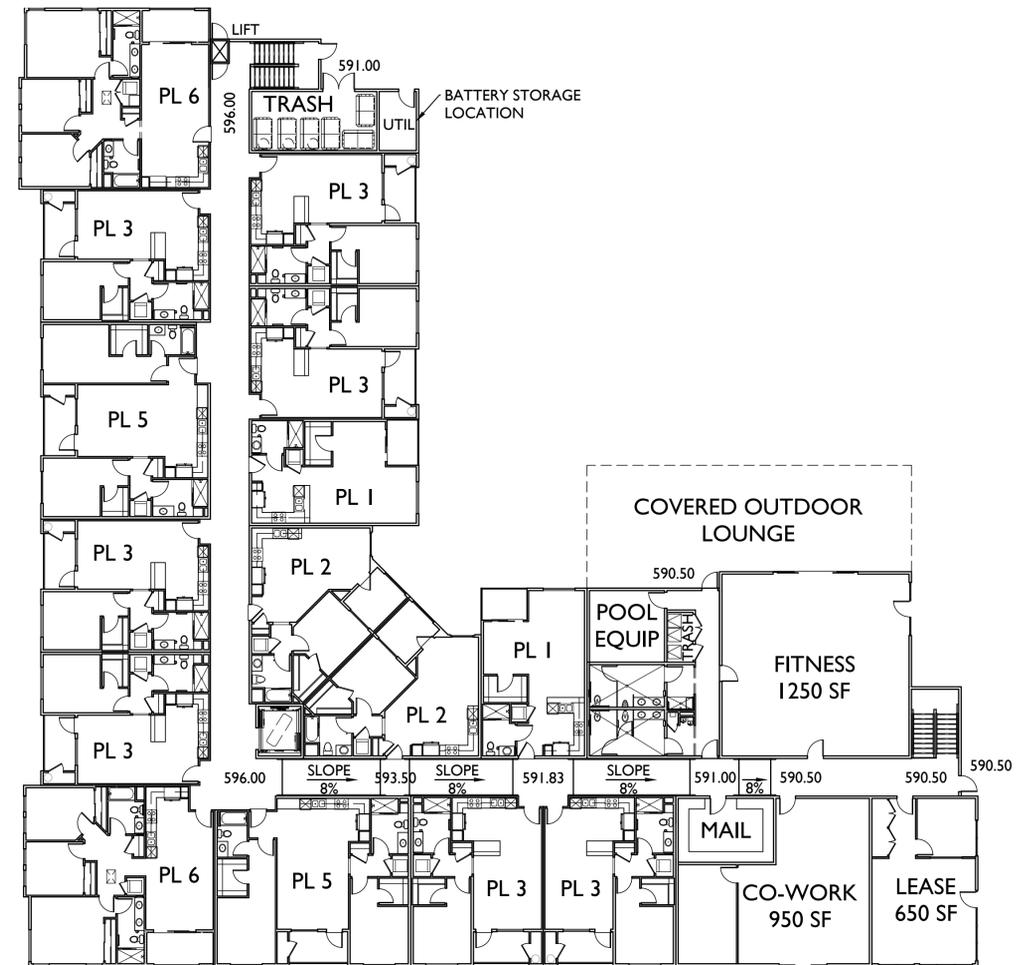
UNIT PLANS



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SECOND AND THIRD FLOOR



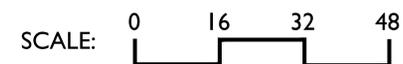
FIRST FLOOR

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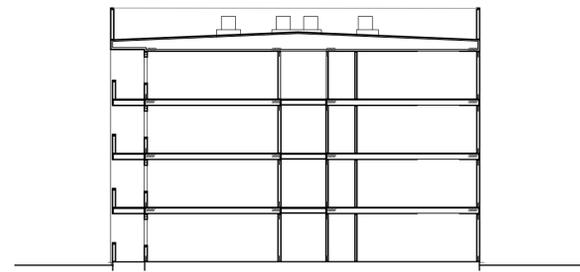
MAY 30, 2023



BUILDING A COMPOSITE

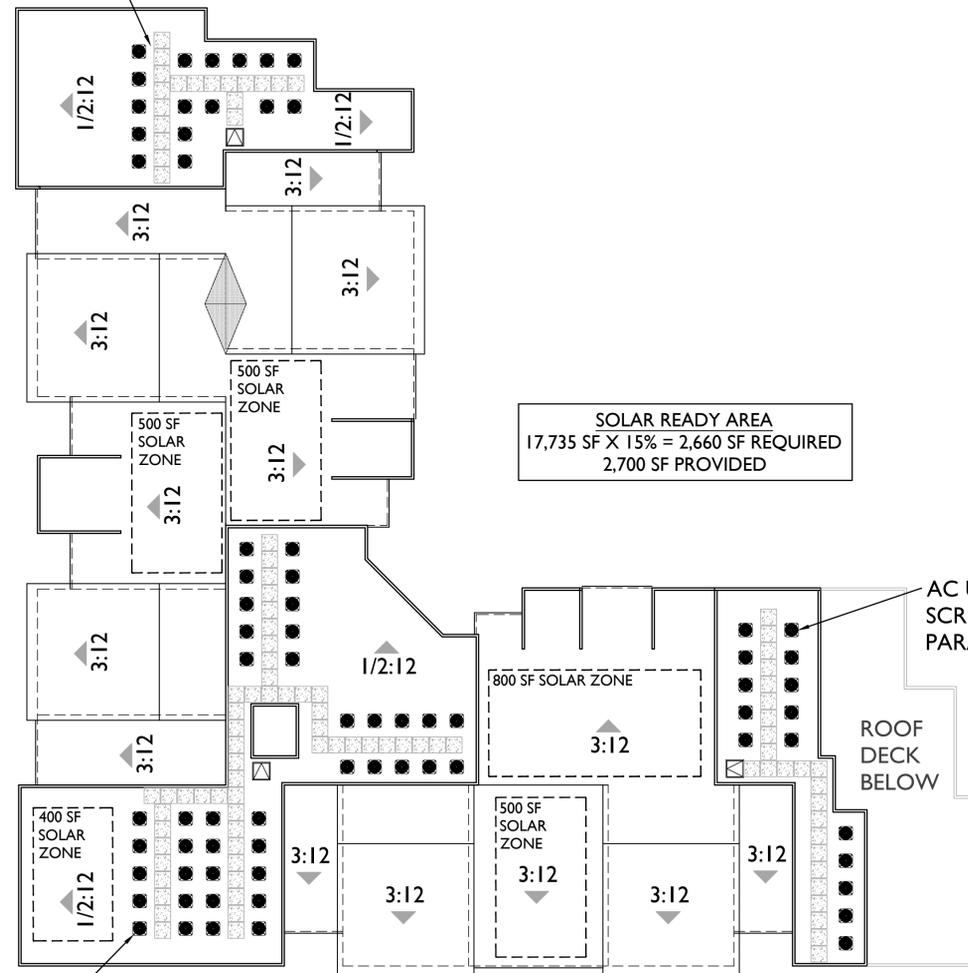


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TYPICAL SECTION
AC UNITS TO BE SCREENED BY
PARAPET WALLS

AC UNITS TO BE
SCREENED BY
PARAPET WALLS



SOLAR READY AREA
17,735 SF X 15% = 2,660 SF REQUIRED
2,700 SF PROVIDED

AC UNITS TO BE
SCREENED BY
PARAPET WALLS

AC UNITS TO BE
SCREENED BY
PARAPET WALLS

ROOF PLAN



FOURTH FLOOR

SAN MARCOS, CA

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CAPALINA APTS

MAY 30, 2023



BUILDING A COMPOSITE



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198



NORTH

MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
- 2 ROOF - BUILT UP PARAPET
- 3 FASCIA - 2X RESAWN WOOD
- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING
- 8 DECORATIVE AWNING
- 9 SIGNAGE
(FINAL SIGNAGE LANGUAGE TO BE APPROVED BY CITY)



(CAPALINA ROAD) WEST

SAN MARCOS, CA

Capalina SMA, LLC
 179 Calle Magdalena #201
 Encinitas, CA 92024
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CAPALINA APTS

MAY 30, 2023
 SCALE: 0 8 16 24

BUILDING A COMPOSITE



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NORTH

MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
- 2 ROOF - BUILT UP PARAPET
- 3 FASCIA - 2X RESAWN WOOD
- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING
- 8 DECORATIVE AWNING
- 9 SIGNAGE
(FINAL SIGNAGE LANGUAGE TO BE APPROVED BY CITY)



(CAPALINA ROAD) WEST

SAN MARCOS, CA

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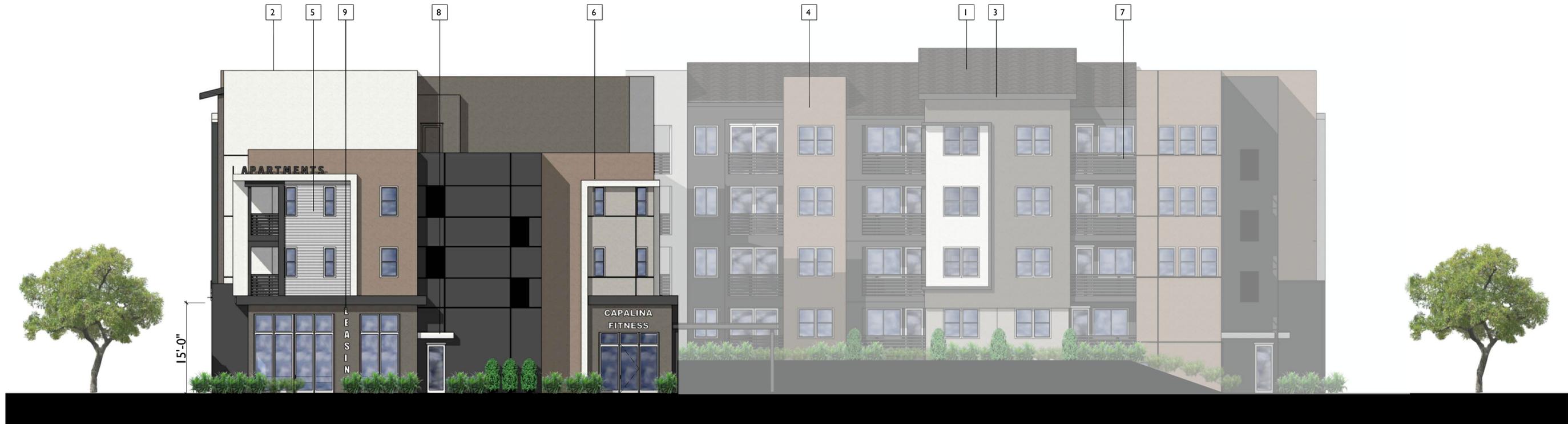
SCALE: 0 8 16 24

BUILDING A COMPOSITE



5256 S. Mission Road, Ste 404
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A-3.1



SOUTH

MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
- 2 ROOF - BUILT UP PARAPET
- 3 FASCIA - 2X RESAWN WOOD
- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING
- 8 DECORATIVE AWNING
- 9 SIGNAGE
(FINAL SIGNAGE LANGUAGE TO BE APPROVED BY CITY)



EAST

SAN MARCOS, CA

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 179 Calle Magdalena #201
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CAPALINA APTS

MAY 30, 2023

SCALE: 0 8 16 24

BUILDING A COMPOSITE



5256 S. Mission Road, Ste 404
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SOUTH

MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
- 2 ROOF - BUILT UP PARAPET
- 3 FASCIA - 2X RESAWN WOOD
- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING
- 8 DECORATIVE AWNING
- 9 SIGNAGE
(FINAL SIGNAGE LANGUAGE TO BE APPROVED BY CITY)



EAST

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BUILDING A COMPOSITE



5256 S. Mission Road, Ste 404
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A-4.1



CAPALINA ROAD - SOUTHWEST



WEST



CAPALINA ROAD - NORTHWEST



SOUTHWEST

NOTE: FINAL SIGNAGE LANGUAGE TO BE APPROVED BY CITY

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CAPALINA APTS

MAY 30, 2023

SCALE:

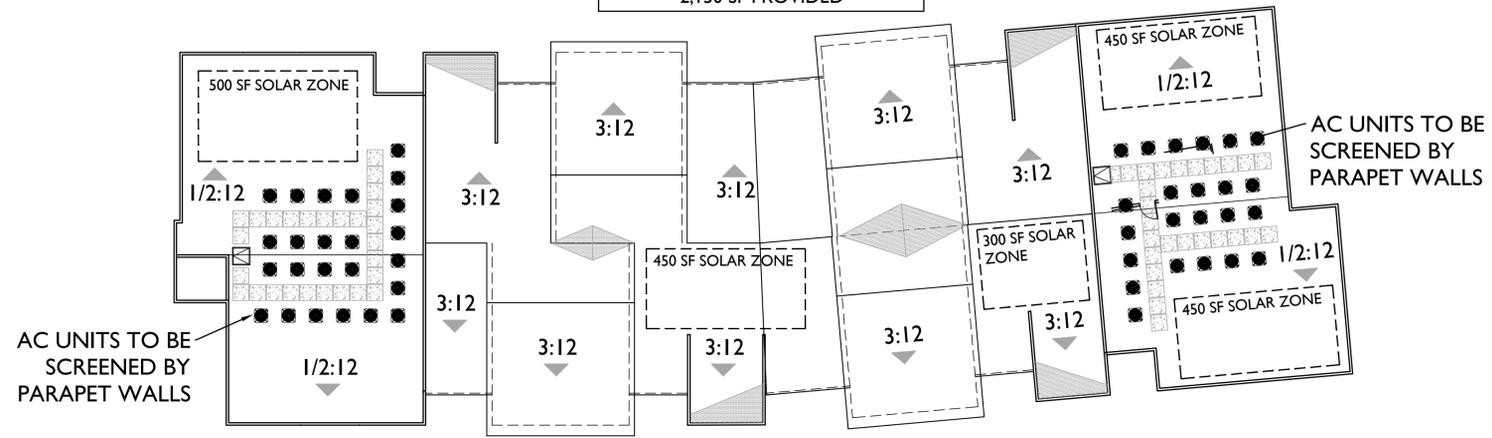
BUILDING A PERSPECTIVES



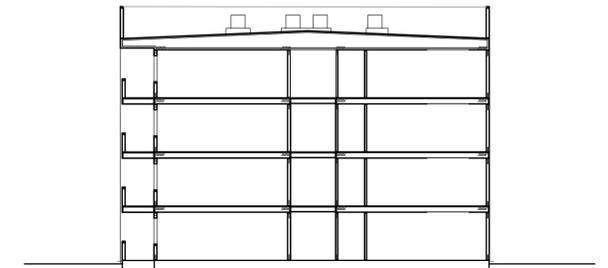
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A-5

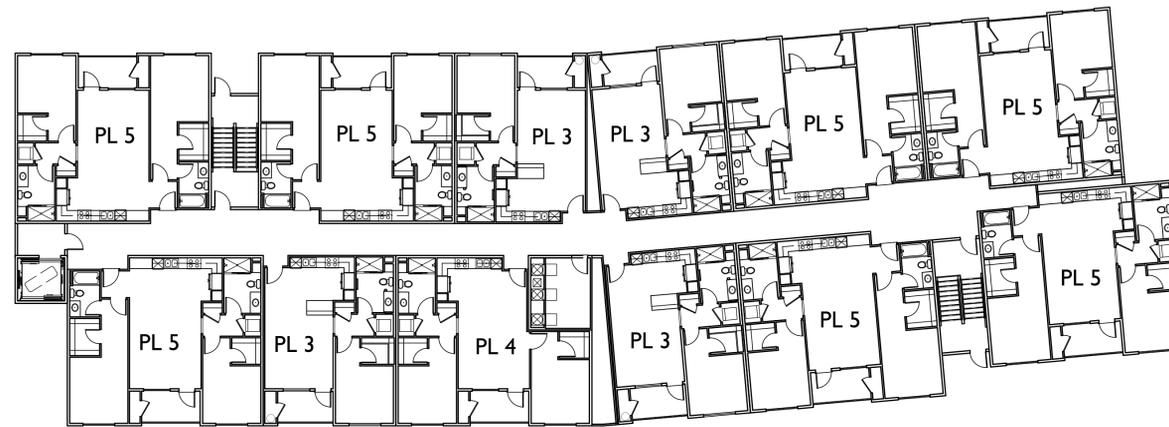
SOLAR READY AREA
14,170 SF X 15% = 2,125 SF REQUIRED
2,150 SF PROVIDED



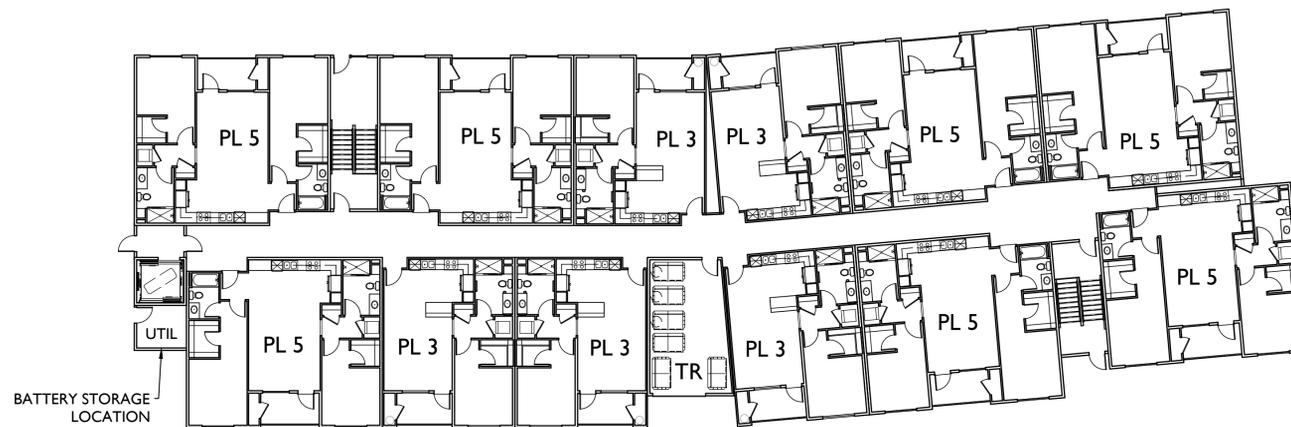
ROOF PLAN



TYPICAL SECTION
AC UNITS TO BE SCREENED BY
PARAPET WALLS



SECOND TO FOURTH FLOOR



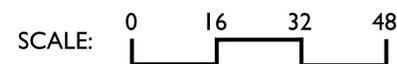
FIRST FLOOR

SAN MARCOS, CA

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CAPALINA APTS

MAY 30, 2023



BUILDING B COMPOSITE



5256 S. Mission Road, Ste 404
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MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
- 2 ROOF - BUILT UP PARAPET
- 3 FASCIA - 2X RESAWN WOOD
- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING
- 8 DECORATIVE AWNING

NORTH



WEST

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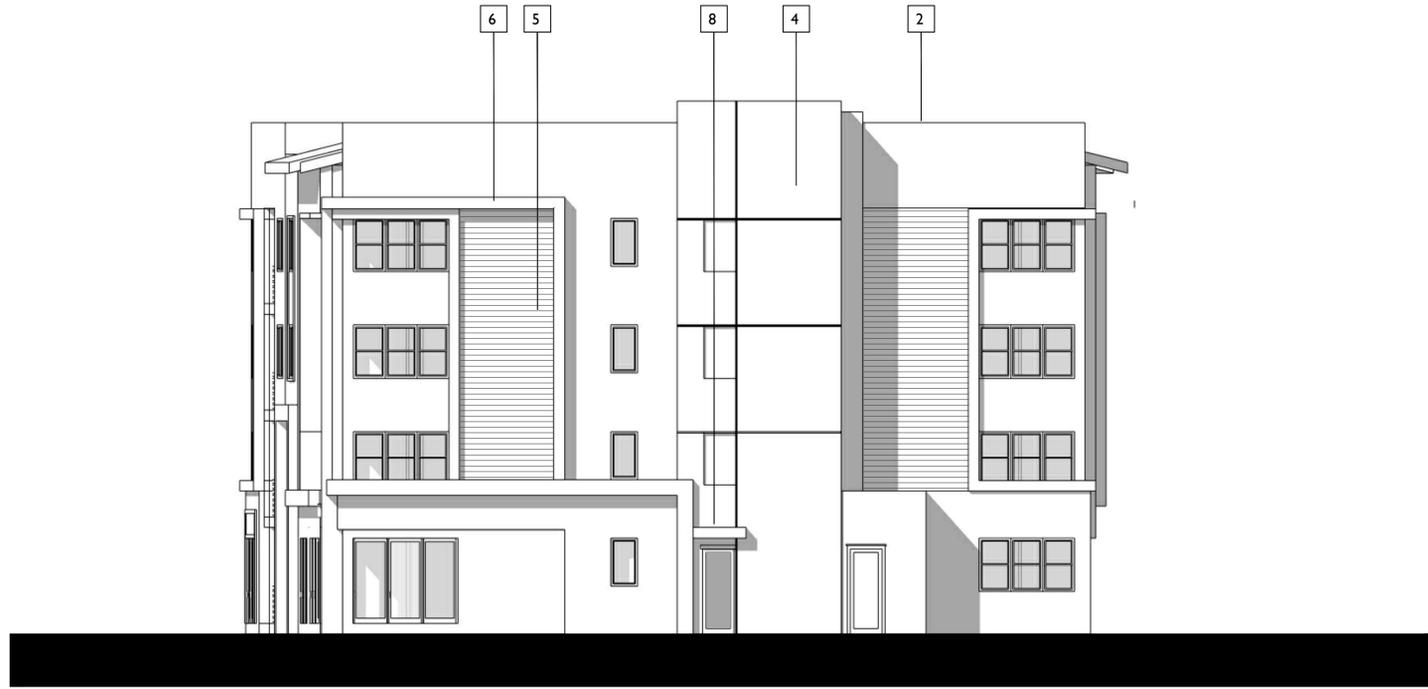
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BUILDING B ELEVATIONS



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NORTH

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WEST

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BUILDING B ELEVATIONS



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A-7.1



MATERIAL SCHEDULE

- 1 ROOF - COMPOSITE SHINGLE
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- 4 WALL - STUCCO
- 5 WALL - METAL SIDING
- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING (SOUND ATTENUATION AT DECKS
FACING MISSION RD PER NOISE REPORT)
- 8 DECORATIVE AWNING

SOUTH



EAST (MISSION ROAD)

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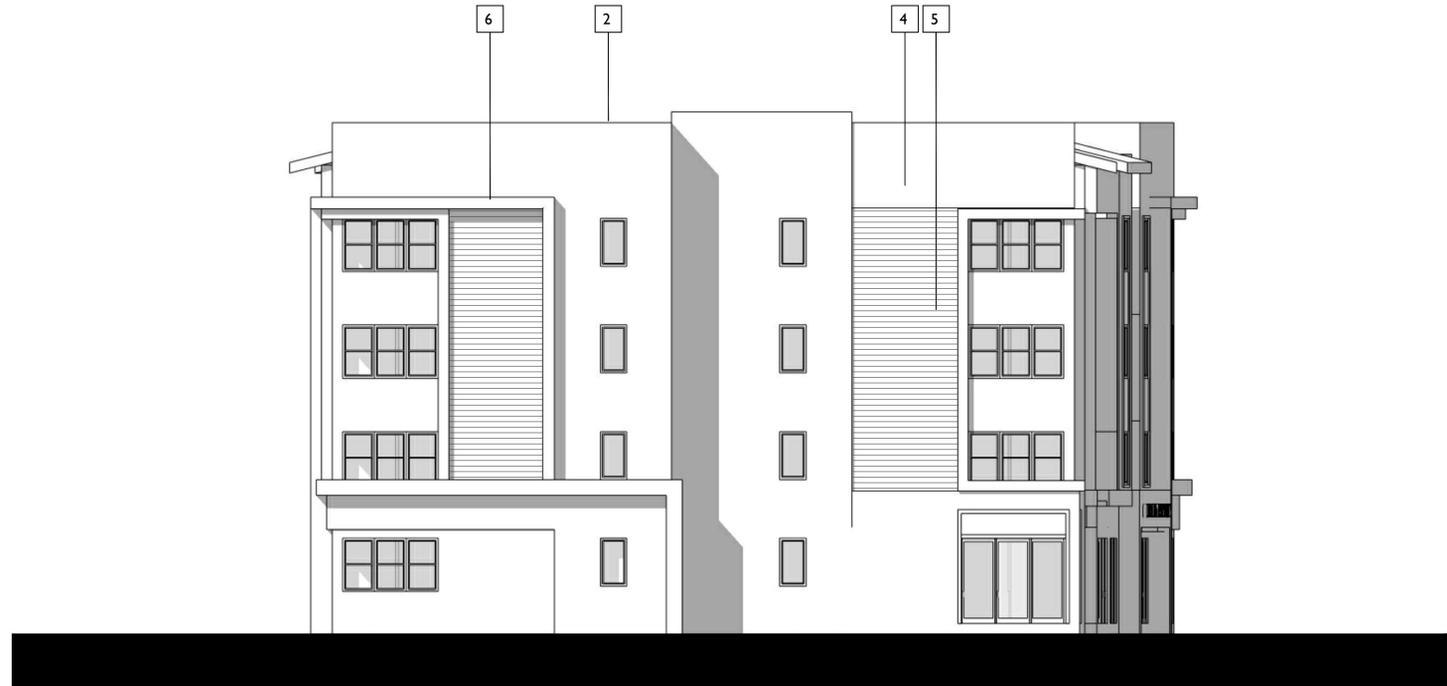
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- 6 TRIM - 2X STUCCO OVER
- 7 METAL RAILING (SOUND ATTENUATION AT DECKS
FACING MISSION RD PER NOISE REPORT)
- 8 DECORATIVE AWNING

SOUTH



EAST (MISSION ROAD)

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BUILDING B ELEVATIONS



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A-8.1



NORTHWEST



MISSION ROAD - NORTHEAST

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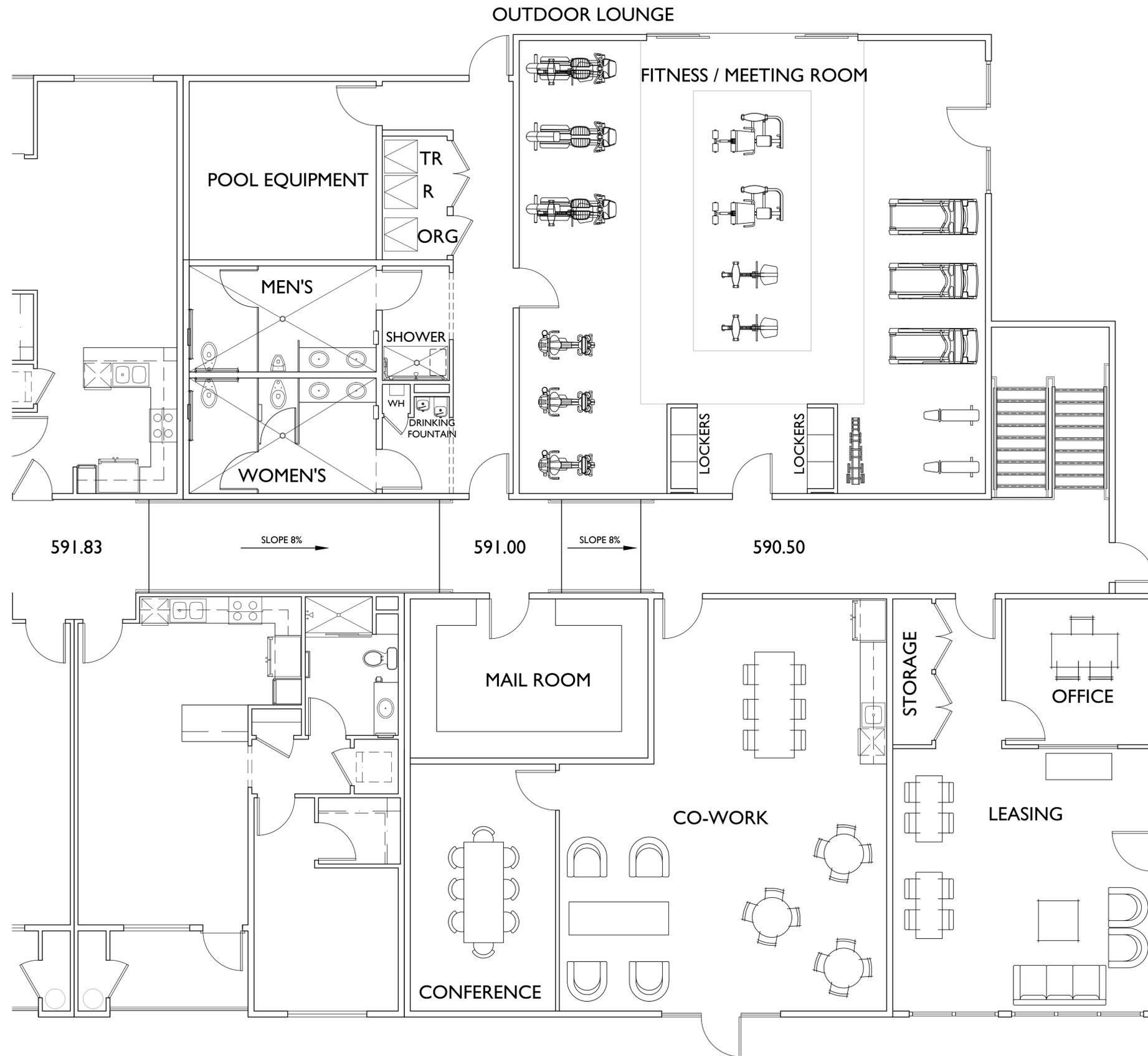
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BUILDING B PERSPECTIVES



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AMENITIES



REC AREA - WEST



REC AREA - NORTH

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