



ATTACHMENT E1
PROJECT CIVIL PLANS

TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES FOR: 2972 & 2982 S. SANTA FE AVENUE

LEGEND

| | |
|---|-------------|
| PROPERTY BOUNDARY | --- |
| CENTERLINE OF ROAD | --- |
| RIGHT-OF-WAY | --- |
| ADJACENT PROPERTY LINE | --- |
| EXISTING CONTOUR LINE | 64 |
| EXISTING SPOT ELEVATION | (XXX.XX) FG |
| PROPOSED SPOT ELEVATION | XXX.XX FS |
| PROPOSED CURB & GUTTER | --- |
| PROPOSED RIBBON GUTTER | --- |
| PROPOSED RETAINING WALL | --- |
| PROPOSED GRADING DAYLIGHT | ∇ |
| PROPOSED STORM DRAIN | SD |
| PROPOSED DOMESTIC WATER | W |
| PROPOSED FIRE WATER | F |
| PROPOSED SEWER | S |
| PROPOSED BUILDING | --- |
| PROPOSED AC PAVEMENT | --- |
| PROPOSED CONCRETE PAVEMENT | --- |
| PROPOSED ARTIFICIAL TURF | --- |
| PROPOSED UNDERGROUND STORM DRAIN DETENTION SYSTEM | --- |
| PROPOSED PROPRIETARY BIOFILTRATION SYSTEM | --- |
| PROPOSED FIRE HYDRANT | ⊕ |
| PROPOSED AREA DRAIN | ○ |
| EXISTING WATER MAIN | W |
| EXISTING SEWER MAIN | S |
| EXISTING STORM DRAIN | SD |
| EXISTING GAS MAIN | G |
| EXISTING TELECOM CONDUIT | T |
| CURB OUTLET | --- |
| CLEANOUT/WEIR CONTROL STRUCTURE | --- |
| BROW DITCH | --- |

RAW EARTHWORK QUANTITIES

CUT: 23,300 CY
 FILL: 3,200 CY
 NET (EXPORT): 20,100 CY

THE ABOVE RAW EARTHWORK QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL NOT RELY UPON QUANTITIES FOR BID PURPOSES. CONTRACTOR TO VERIFY EARTHWORK QUANTITIES TO THEIR SATISFACTION PRIOR TO START OF WORK.

NOTE: QUANTITIES DO NOT INCLUDE ANY EARTHWORK FOR REMEDIAL PURPOSES. EARTHWORK ESTIMATES ARE BASED ON IN PLACE VOLUMES AND DO NOT ACCOUNT FOR ANY SHRINKAGE OR SWELL OF THE SOIL THAT MAY OCCUR DURING GRADING.

LANDSCAPE EASEMENT NOTES

ALL PROPOSED PRIVATE IMPROVEMENTS WITHIN EXISTING CITY LANDSCAPE MAINTENANCE EASEMENT WILL REQUIRE AN ENCROACHMENT AGREEMENT AND ALL PRIVATE IMPROVEMENTS AND APPURTENANCES WITHIN LANDSCAPE MAINTENANCE EASEMENT TO BE PRIVATELY OWNED AND MAINTAINED.

CONDOMINIUM NOTE

THIS SUBDIVISION IS A RESIDENTIAL CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT, THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 46.

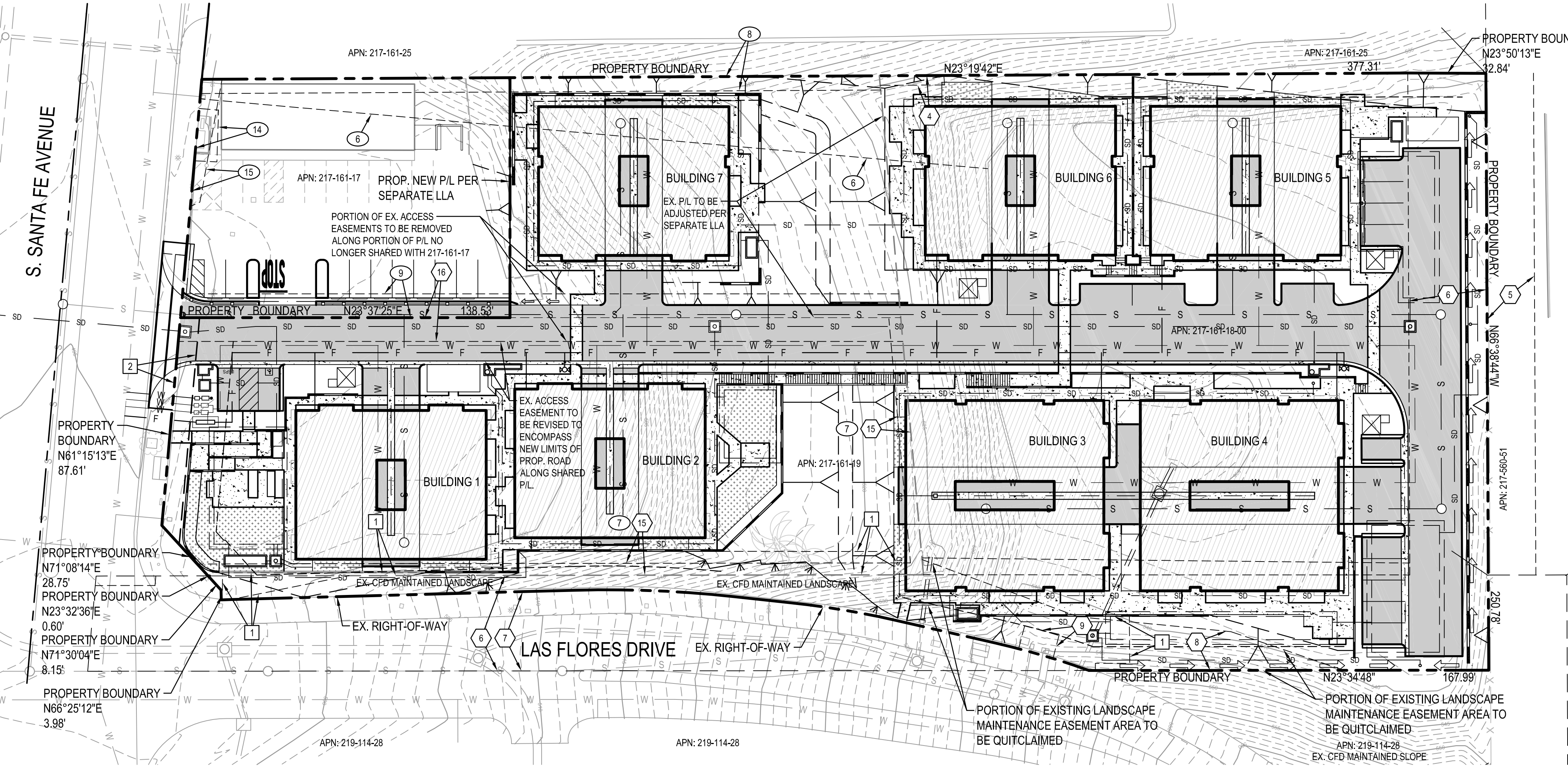
PROPOSED EASEMENT INFORMATION

- PROPOSED LANDSCAPE MAINTENANCE EASEMENT FOR OPEN SPACE TO THE CITY OF SAN MARCOS.
- PROPOSED 8-FOOT WIDE IRREVOCABLE OFFER OF DEDICATION TO THE CITY OF SAN MARCOS.

EXISTING EASEMENT INFORMATION (217-161-18, -19)

- EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO FOR PUBLIC HIGHWAY PURPOSES, RECORDED JUNE 11, 1913 IN BOOK 500, PAGE 135, OFFICIAL RECORDS TO BE VACATED. NOT PLOTTABLE.
- EASEMENT GRANTED TO VISTA IRRIGATION DISTRICT FOR PIPELINE AND OTHER DISTRICT WORKS, RECORDED OCTOBER 24, 1925, IN BOOK 1136, PAGE 238, OFFICIAL RECORDS TO BE QUITCLAIMED. NOT PLOTTABLE.
- EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED JUNE 19, 1973 AS DOC. NO. 73-167727, OFFICIAL RECORDS TO BE QUITCLAIMED.
- EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO FOR UTILITY PURPOSES, RECORDED OCTOBER 25, 1979 AS DOC. NO. 79-448104, OFFICIAL RECORDS TO BE VACATED.
- EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO FOR UTILITY PURPOSES, RECORDED OCTOBER 24, 1987 AS DOC. NO. 87-353275 TO BE VACATED.
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- EASEMENT GRANTED TO THE CITY OF SAN MARCOS FOR PUBLIC STREET AND UTILITY PURPOSES, RECORDED OCTOBER 13, 2005 AS DOC. NO. 2005-0887133.
- EASEMENT GRANTED TO THE CITY OF SAN MARCOS FOR OPEN SPACE SLOPE LANDSCAPE MAINTENANCE AND ACCESS PURPOSES, RECORDED OCTOBER 13, 2005 AS DOC. NO. 2005-0887134, OFFICIAL RECORDS.
- EASEMENT GRANTED TO VISTA IRRIGATION DISTRICT FOR UTILITY PURPOSES, RECORDED NOVEMBER 17, 2005 AS DOC. NO. 2005-0996226, OFFICIAL RECORDS TO BE REVISED.
- EASEMENT GRANTED TO COUNTY OF SAN DIEGO FOR PUBLIC STREET PURPOSES, RECORDED JUNE 11, 1913 IN BOOK 500, PAGE 135 OF DEEDS TO BE VACATED. NOT PLOTTABLE.
- EASEMENT GRANTED TO VISTA IRRIGATION DISTRICT FOR PIPELINES, INGRESS AND EGRESS, AND ALL NECESSARY APPURTENANCES, RECORDED OCTOBER 24, 1925 IN BOOK 1136, PAGE 238 OF DEEDS TO BE QUITCLAIMED. NOT PLOTTABLE.
- EASEMENT GRANTED TO BARENY COLEMAN AND JEAN S. COLEMAN FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED OCTOBER 27, 1959 IN BOOK 7959, PAGE 126, OFFICIAL RECORDS TO BE QUITCLAIMED.
- EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITY PURPOSES, RECORDED JUNE 19, 1973, DOCUMENT NO. 73-167728, OFFICIAL RECORDS TO BE QUITCLAIMED.
- EASEMENT GRANTED TO MARY ELIZABETH ESHLEMAN FOR ROAD AND UTILITY PURPOSES, RECORDED JULY 5, 1973, DOCUMENT NO. 1973-184604, OFFICIAL RECORDS, A PORTION TO BE QUITCLAIMED.
- EASEMENT GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY FOR PUBLIC UTILITY PURPOSES, RECORDED JULY 3, 2003, DOCUMENT NO. 2003-0793497, OFFICIAL RECORDS.
- EASEMENT GRANTED TO CITY OF SAN MARCOS FOR SLOPE AND DRAINAGE PURPOSES, RECORDED MARCH 12, 2004, DOCUMENT NO. 2004-0206660, OFFICIAL RECORDS.

NOTE: ALL EXISTING COUNTY HIGHWAY EASEMENTS WITHIN THE PROPERTY BOUNDARIES TO BE VACATED.



ABBREVIATIONS

| | | | |
|------------------------------------|------------------------|---------------------------|-----------------------|
| AC ASPHALT CONCRETE | ELEC ELECTRICAL | MH MANHOLE | SL STREET LIGHT |
| ADA AMERICAN WITH DISABILITIES ACT | EX EXISTING | MIN MINIMUM | SMH SEWER MANHOLE |
| BFD BACKFLOW DEVICE | FF FINISH FLOOR | PA PLANTER AREA | TC TOP OF CURB |
| BLDG BUILDING | FG FINISHED GRADE | PBOX PULL BOX | TD TOP OF DECK |
| BS BOTTOM OF STAIRS | FL FLOW LINE | PIL PROPERTY LINE | TE TRASH ENCLOSURE |
| BW BOTTOM OF WALL | FM FORCE MAIN | POC POINT OF CONNECTION | TG TOP OF GRATE |
| CB CATCH BASIN | FS FINISHED SURFACE | POT PATH OF TRAVEL | TS TOP OF STAIRS |
| CF CURB FACE | GA GUY ANCHOR | PP POWER POLE | TW TOP OF WALL |
| CMU CONCRETE MASONRY UNIT | GB GRADE BREAK | PROP PROPOSED | TYP TYPICAL |
| CO CLEANOUT | GF GARAGE FINISH FLOOR | PVC POLYVINYL CHLORIDE | WAR WATER AIR RELEASE |
| COMM COMMUNICATIONS | GP GUY POLE | R/W RIGHT-OF-WAY | WM WATER METER |
| CONC CONCRETE | GV GAS VALVE | SCO SEWER CLEANOUT | WV WATER VALVE |
| DOMW DOMESTIC WATER | HP HIGH POINT | SD STORM DRAIN | |
| DS DOWNSPOUT | HT HEIGHT | SDCO STORM DRAIN CLEANOUT | |
| EG EDGE OF GUTTER | INV INVERT | SDMH STORM DRAIN MANHOLE | |

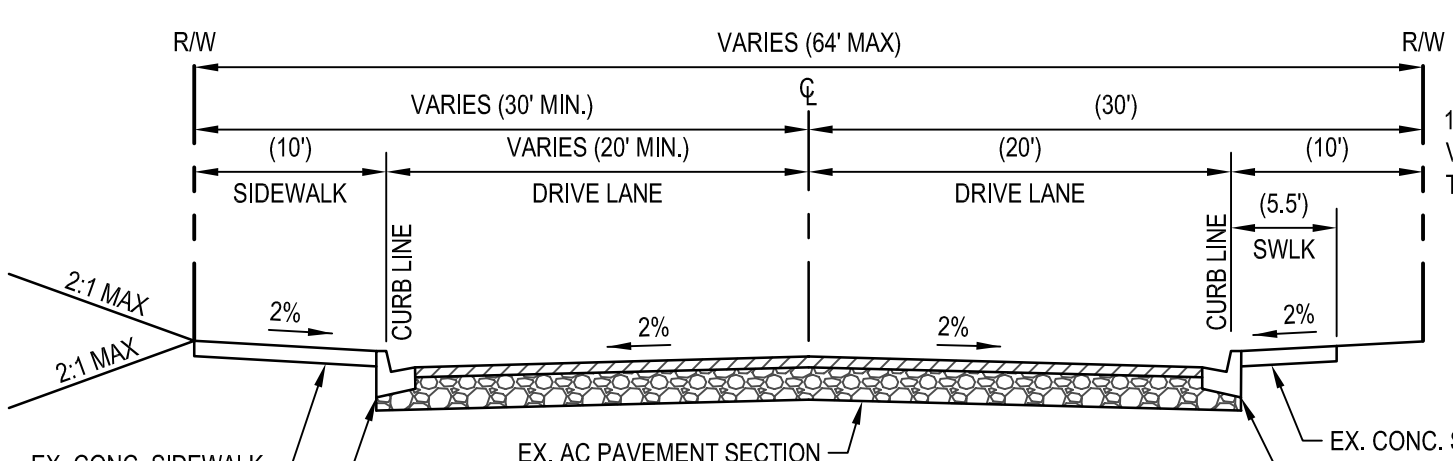
EXISTING EASEMENT INFORMATION (217-161-17)

- EASEMENT GRANTED TO THE COUNTY OF SAN DIEGO FOR PUBLIC HIGHWAY PURPOSES, RECORDED JUNE 11, 1913, BOOK 500, PAGE 136, OFFICIAL RECORDS. NOT PLOTTABLE.
- EASEMENT GRANTED TO VISTA IRRIGATION DISTRICT FOR PIPELINE AND OTHER DISTRICT WORK PURPOSES, RECORDED OCTOBER 24, 1925, IN BOOK 1136, PAGE 238, OFFICIAL RECORDS TO BE QUITCLAIMED. NOT PLOTTABLE.
- EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITY PURPOSES, RECORDED APRIL 25, 1951, IN BOOK 4073, PAGE 83, OFFICIAL RECORDS TO BE QUITCLAIMED.
- EASEMENT GRANTED TO BARNEY COLEMAN AND JEAN S. COLEMAN FOR INGRESS AND EGRESS FOR PUBLIC UTILITY PURPOSES, RECORDED OCTOBER 27, 1959 IN BOOK 7959, PAGE 126, OFFICIAL RECORDS TO BE QUITCLAIMED.
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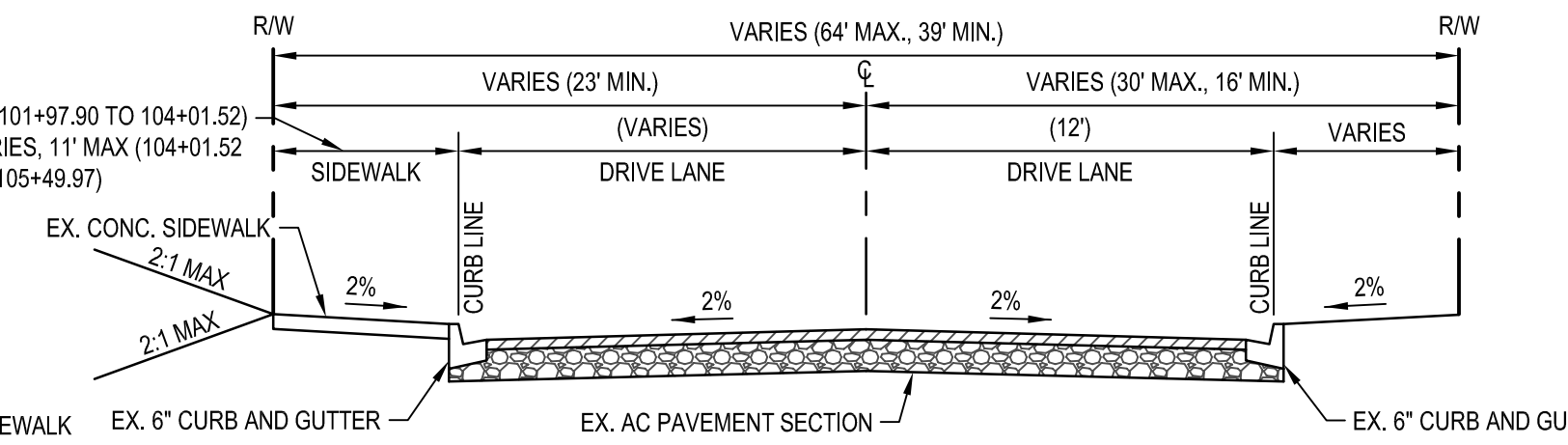
NOTE: ALL EXISTING COUNTY HIGHWAY EASEMENTS WITHIN THE PROPERTY BOUNDARIES TO BE VACATED.



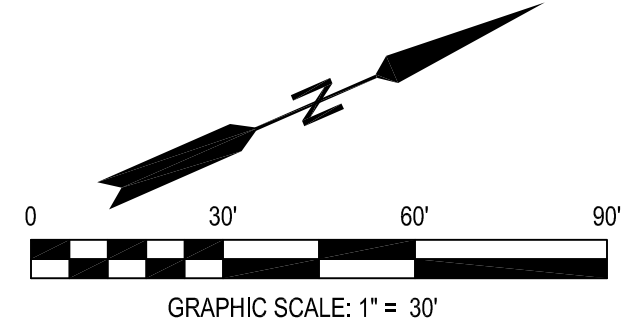
TYPICAL SECTION - S. SANTA FE AVENUE



TYPICAL SECTION - LAS FLORES DRIVE



TYPICAL SECTION - LAS FLORES DRIVE



OWNER'S STATEMENT

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THESE PLANS AND THAT SAID PLANS SHOW OUR ENTIRE CONTIGUOUS OWNERSHIP (EXCLUDING SUBDIVISION LOTS) THAT WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROADS RIGHTS-OF-WAY.

OWNER

SANTA FE FLORES LP
 CONTACT: PAUL MAYER
 P.O. BOX 903
 RANCHO SANTA FE, CA 92067

ENGINEER OF WORK

WILLIAM J. SUTER RCE 68964
 PAUL MAYER



LEGAL DESCRIPTION

PORTION OF LOT 4 IN BLOCK 95 OF RANCHO LOS VALLECITOS DE SAN MARCOS, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 806, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1895.

ASSESSOR'S PARCEL NUMBER

217-161-18-00, 217-161-19-00, PORTION OF 217-161-17-00

AERIAL TOPOGRAPHY

AERIAL TOPOGRAPHY SUPPLIED BY: HOOPER LAND COMPANY
 1642 MOON ROCK ROAD
 FALLBROOK, CA 92028
 (760) 723-2891
 SURVEY COMPLETED: JUNE 2020

GENERAL NOTES:

- APN: 217-161-18-00, 217-161-19-00, PORTION OF 217-161-17-00
- GROSS ACREAGE: 2.87 AC
- GROSS ACREAGE WITHOUT LAS FLORES ROW: 2.60 AC
- NET ACREAGE: 2.60 AC
- NUMBER OF DWELLING UNITS: 46
- EXISTING ZONING: MULTIFAMILY RESIDENTIAL 3-10 (R-3-10) & COMMERCIAL (C)
- PROPOSED ZONING: MULTIFAMILY RESIDENTIAL 3-6 (R-3-6)
- EXISTING GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL 2 (MDR2) & COMMERCIAL (C)
- PROPOSED GENERAL PLAN: MEDIUM HIGH DENSITY RESIDENTIAL (MHR)
- FINISH GRADES SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN.
- PROPOSED DENSITY: 17.69 DU/AC
- CUT AND FILL SLOPES NO STEEPER THAN 2:1
- PUBLIC SERVICES AND DISTRICTS:
 GAS & ELECTRIC: SAN DIEGO GAS AND ELECTRIC
 TELEPHONE: AT&T
 WATER: VISTA IRRIGATION DISTRICT
 SEWER: BUENA SANTANA DISTRICT/ CITY OF VISTA
 FIRE DISTRICT: CITY OF SAN MARCOS
 SCHOOL DISTRICT: SAN MARCOS UNIFIED SCHOOL DISTRICT
- PROPOSED SETBACKS:
 FRONT YARD = MINIMUM 15'
 SIDE YARD = MINIMUM 10'
 REAR YARD = MINIMUM 10'
- SEE STORM WATER QUALITY MANAGEMENT PLAN PREPARED BY: PLSA (DATED: JUNE 2025)
- SEE PRELIMINARY DRAINAGE STUDY PREPARED BY: PLSA (DATED: JUNE 2025)
- SEE GEOTECHNICAL EVALUATION PREPARED BY: GEOCON, INC. DATED: AUGUST 12, 2024 (PROJECT NO. G3355-42-01)

PROJECT DESCRIPTION

GENERAL PLAN AMENDMENT, ZONE CHANGE, MULTI-FAMILY SITE DEVELOPMENT PLAN AND TENTATIVE SUBDIVISION MAP (TSP) FOR CONDOMINIUM PURPOSES PROPOSING A 46-UNIT MULTIFAMILY DEVELOPMENT WITH PARKING LOTS, ACCESS DRIVE, AMENITY AREAS, MISCELLANEOUS HARDSCAPE AND LANDSCAPING.

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--------------------------|
| 1 | TITLE SHEET |
| 2 | PRELIMINARY GRADING PLAN |
| 3 | SITE SECTIONS |
| 4-7 | DETAILS |

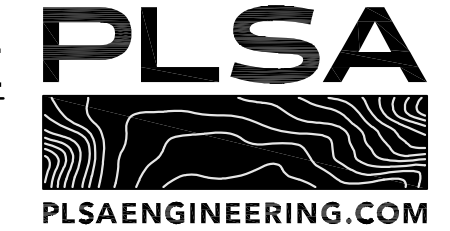
BASIS OF BEARINGS

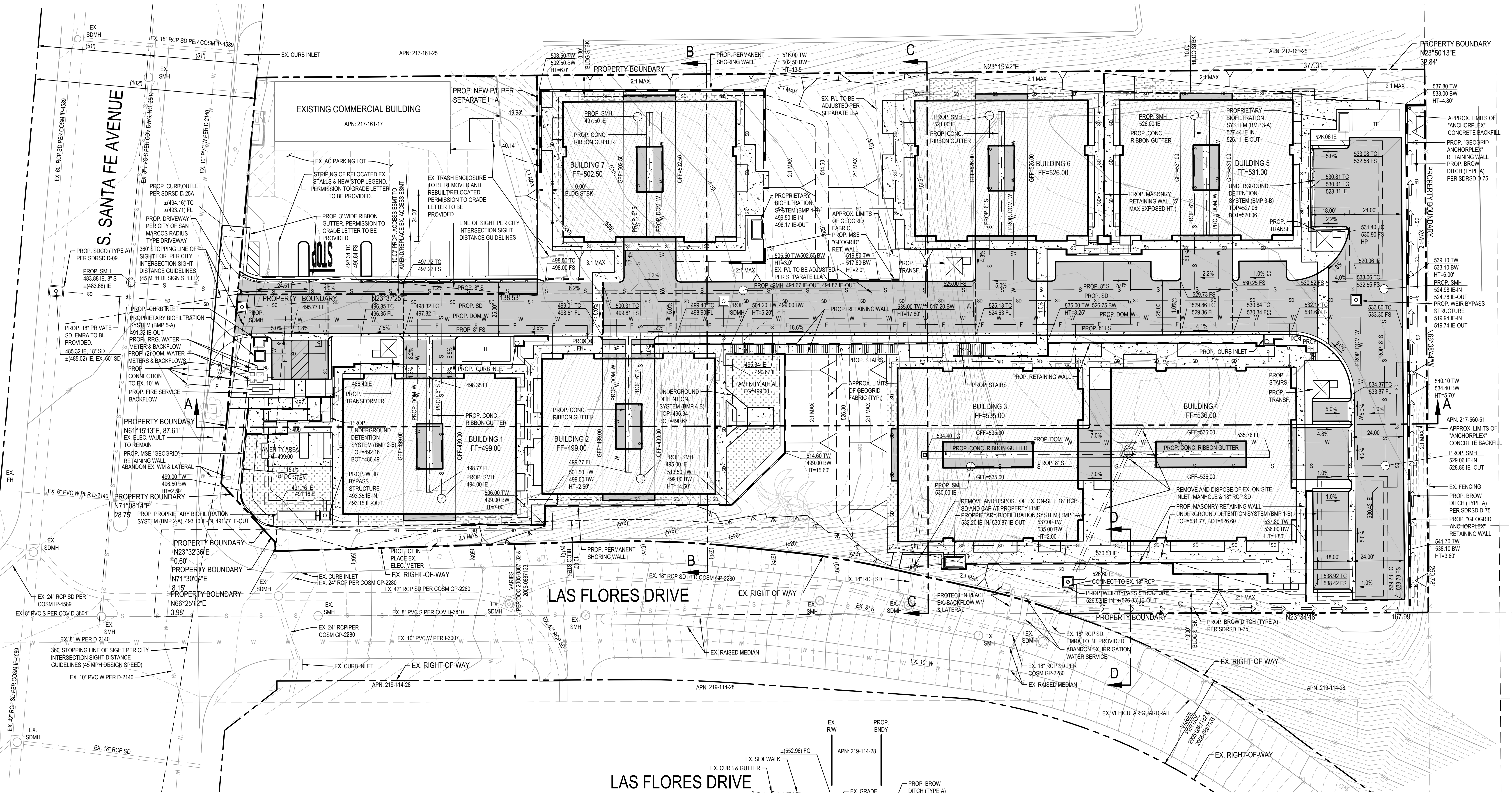
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83), ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS SM127 AND VC 009 BEARING BY A GRID BEARING OF S 0°54'41" E AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 13928, CITY OF SAN MARCOS SURVEY CONTROL, FILED ON 10/01/1992 AS FILE NUMBER 92-625379 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON 2" IRON PIPE & DISK AS SHOWN ON RECORD 13928 AS SM 127. ELEVATION: 450.50 FEET. NGVD 29. NAVD88 = RAISE ELEVATIONS BY +4. 2'

| SHEET: 1 OF 7 | | CITY OF SAN MARCOS | |
|--|---------------------|------------------------------|--------------|
| GENERAL PLAN AMENDMENT NUMBER: GPA25-0001 | | | |
| OWNER: SANTA FE FLORES LP | CONTACT: PAUL MAYER | PHONE: 858-888-2488 | |
| ADDRESS: PO BOX 903, RANCHO SANTA FE, CA 92067 | | | |
| ARCHITECT: ENGINEER, DESIGNER: PLSA | | PHONE: 949-661-6695 | |
| ADDRESS: 34270 PACIFIC COAST HIGHWAY SUITE B, DANA POINT, CA 92629 | | | |
| TYPE OF DEVELOPMENT: RESIDENTIAL, TOWNHOMES | | | |
| ZONE: MULTIFAMILY RESIDENTIAL (R-3-6) | | APN(S): 217-161-17, -18, -19 | |
| SITE DATA | | DWELLING UNITS | |
| AREA (SQ. FT.) | COVERAGE % | STUDIO | COMMON (SF) |
| LOT: 113,209 | 100% | 1 BDRM | 14,795 |
| BUILDING: 38,672 | 34% | 2 BDRM | 21,610 |
| PARKING/PVMT: 35,778 | 32% | 3 BDRM | |
| LOADING: 0 | 0% | 4 BDRM | 46 |
| LANDSCAPING: 38,759 | 34% | TOTAL UNITS | 46 |
| PARKING | | SETBACKS | |
| GARAGE: 92 | LOADING: 0 | DRIVEWAY (3/2'S SLOPE) | FRONT: 15' |
| GUEST: 14 | HANDICAP: 1 | ONE WAY/NO | REAR: 10' |
| OPEN: 0 | TOTAL: 107 | TWO WAY: 24' MIN | L. SIDE: 10' |
| | | SLOPE-VARIES | R. SIDE: 10' |

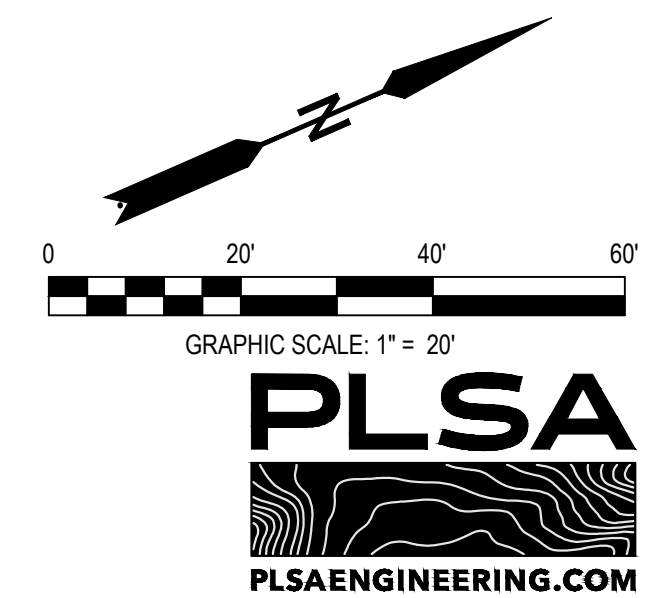




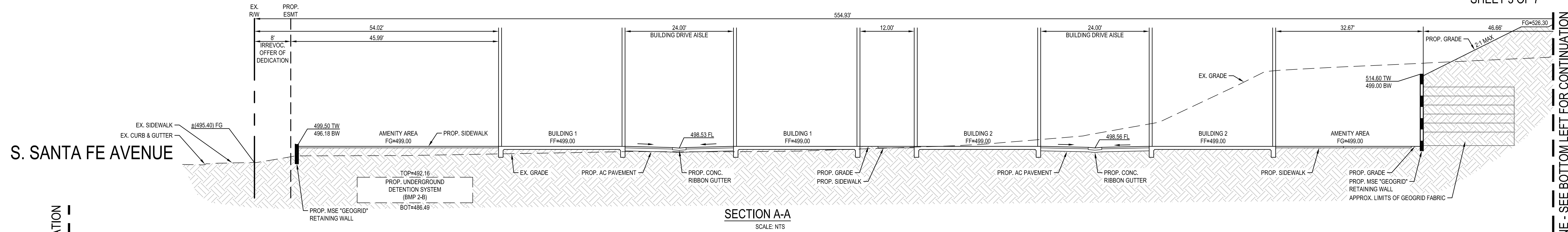
NOTES

1. BOTTOM OF WALL (BW) ELEVATIONS ON THIS PLAN IDENTIFIES THE LOWER SURFACE GRADE ADJACENT TO THE RETAINING WALL.
2. RETAINING WALL HEIGHTS (HT) ON THIS PLAN IDENTIFY THE EXPOSED HEIGHT (ABOVE GRADE) OF THE PROPOSED RETAINING WALLS.
3. PARKING SIGNS TO BE INSTALLED TO GUIDE GUESTS AND RESIDENTS TO APPROPRIATE PARKING STALLS

SECTION D-D
SCALE: NTS

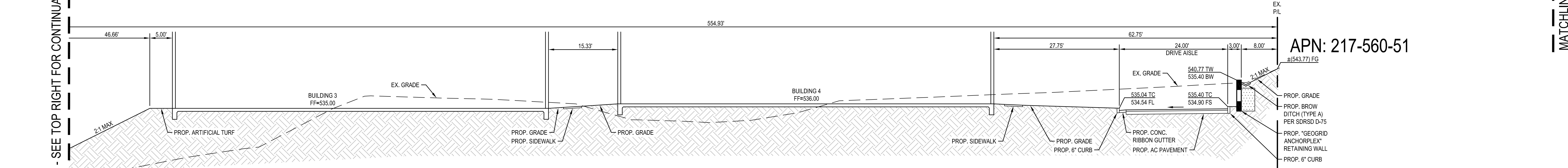


| CITY OF SAN MARCOS | | | | | | |
|--|---|----------------|---|--------------|------------|-----------|
| SHEET: 2 OF 7 | | | | | | |
| GENERAL PLAN AMENDMENT NUMBER: GPA25-0001 | | | | | | |
| OWNER: SANTA FE FLORES LP | CONTACT: PAUL MAYER PHONE: 858-888-2488 | | | | | |
| ADDRESS: PO BOX 903, RANCHO SANTA FE, CA 92067 | | | | | | |
| ARCHITECT: ENGINEER, DESIGNER, PLSA | PHONE: 949-661-6695 | | | | | |
| ADDRESS: 34270 PACIFIC COAST HIGHWAY SUITE B, DANA POINT, CA 92629 | | | | | | |
| TYPE OF DEVELOPMENT: RESIDENTIAL, TOWNHOMES | | | | | | |
| ZONE: MULTIFAMILY RESIDENTIAL (R-3-B) | APN(S): 217-161-17, -18, -19 | | | | | |
| SITE DATA | | | | | | |
| AREA (SQ. FT.) | COVERAGE % | DWELLING UNITS | OPEN SPACE DATA | | | |
| LOT: | 113,209 | 100% | 1 BRDM - 14,795 COMMON (SF) - 21,610 PRIVATE (SF) | | | |
| BUILDING: | 38,672 | 34% | 2 BRDM - | | | |
| PARKING/PVMT: | 35,778 | 32% | 3 BRDM - 46 | | | |
| LOADING: | 0 | 0% | 4 BRDM - | | | |
| LANDSCAPING: | 38,759 | 34% | TOTAL UNITS - 46 | | | |
| PARKING | | ORD. REQ. | DRIVEWAY (SIZE & SLOPE) | ONE WAY/VA | FRONT: 15' | REAR: 10' |
| GARAGE: | 92 | LOADING: 0 | ONE WAY/VA | L. SIDE: 15' | | |
| GUEST: | 0 | LOADING: 0 | TWO WAY: 24' MIN | L. SIDE: 15' | | |
| OPEN: | 0 | TOTAL: 197 | SLOPE-VARIES | R. SIDE: 10' | | |

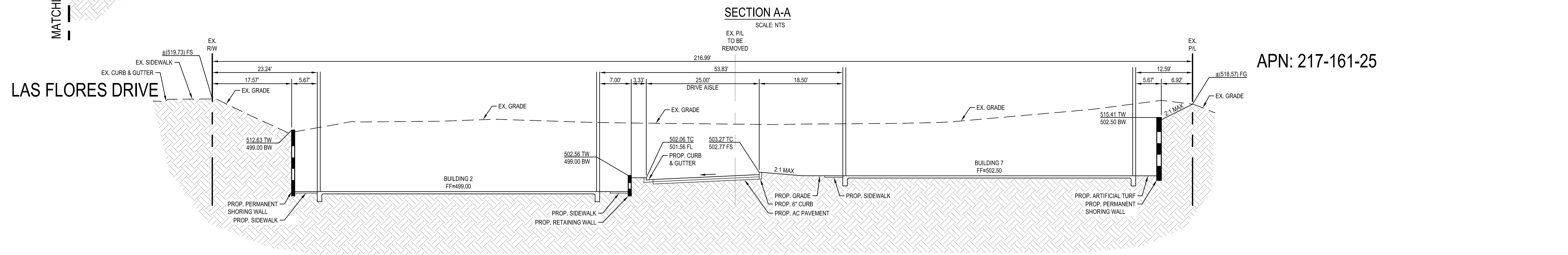


MATCHLINE - SEE TOP RIGHT FOR CONTINUATION

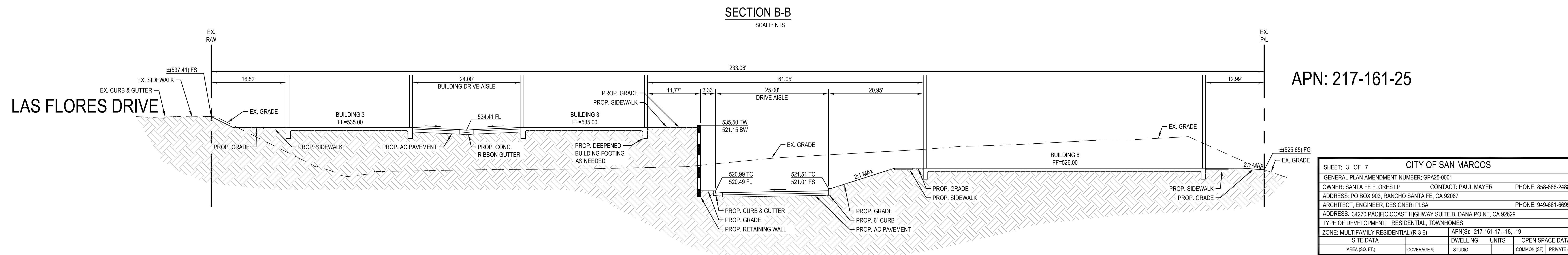
MATCHLINE - SEE BOTTOM LEFT FOR CONTINUATION



APN: 217-560-51

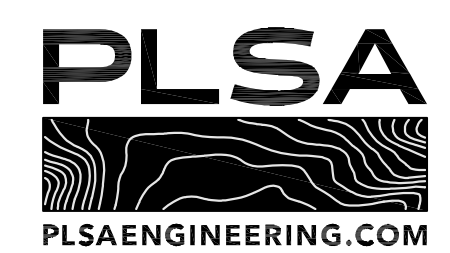


APN: 217-161-25



APN: 217-161-25

| SITE DATA | | DWELLING UNITS | | OPEN SPACE DATA | |
|----------------|------------|----------------|-------------------------|------------------|---------------------------|
| AREA (SQ. FT.) | COVERAGE % | STUDIO | COMMON (SF) | PRIVATE (SF) | |
| LOT: | 113,209 | 100% | 1 BDRM | - | 14,795 21,610 |
| BUILDING: | 38,672 | 34% | 2 BDRM | - | |
| PARKING/PVMT: | 35,778 | 32% | 3 BDRM | 46 | |
| LOADING: | 0 | 0% | 4 BDRM | - | |
| LANDSCAPING: | 38,759 | 34% | TOTAL UNITS | 46 | |
| PARKING | | ORD. REQ. | DRIVEWAY (SIZE & SLOPE) | | SETBACKS |
| GARAGE | 92 | LOADING | 0 | ONE WAY: N/A | FRONT: 15' REAR: 10' |
| GUEST | 14 | HANDICAP | 1 | TWO WAY: 24' MIN | L. SIDE: 10' R. SIDE: 10' |
| OPEN | 0 | TOTAL | 107 | SLOPE: VARIES | |



SHEET: 3 OF 7 CITY OF SAN MARCOS

GENERAL PLAN AMENDMENT NUMBER: GPA25-0001

OWNER: SANTA FE FLORES LP CONTACT: PAUL MAYER PHONE: 858-888-2488

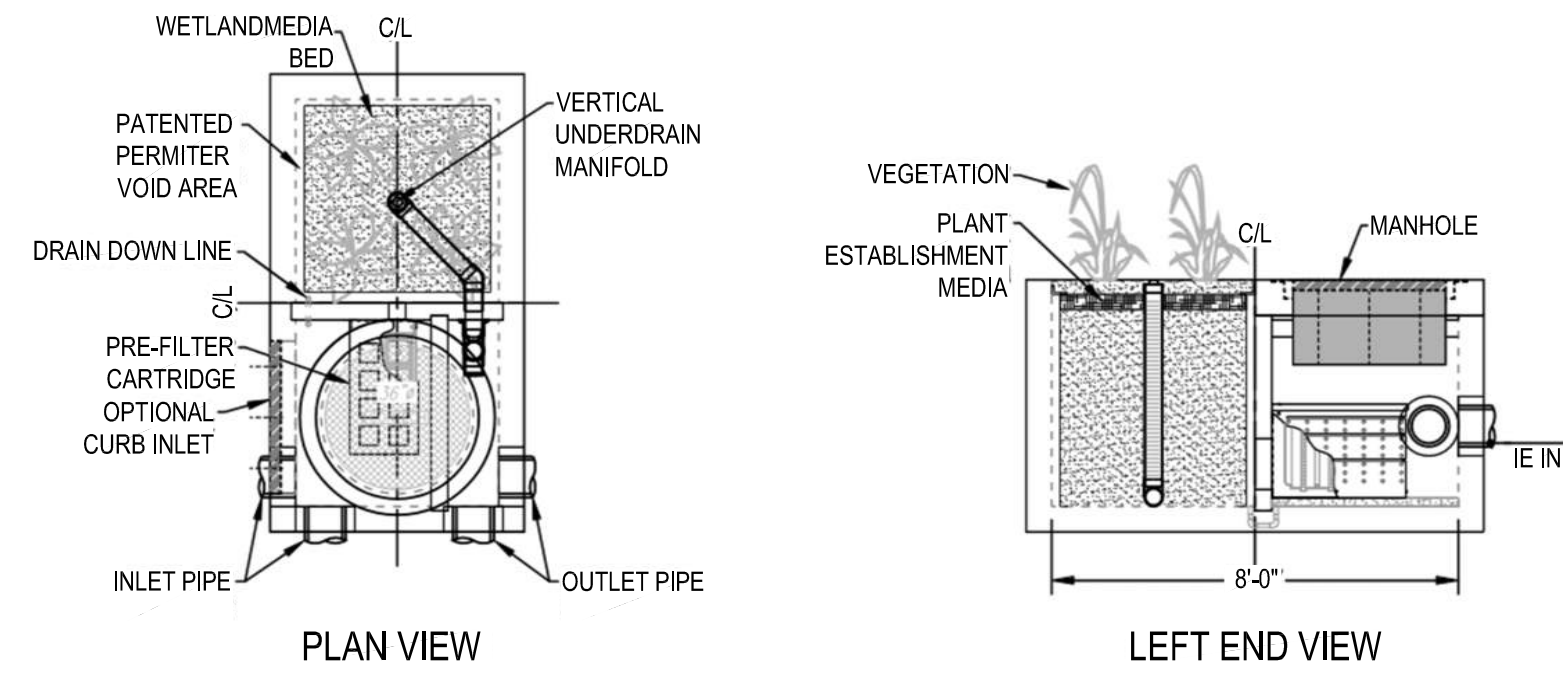
ADDRESS: PO BOX 903, RANCHO SANTA FE, CA 92067

ARCHITECT/ENGINEER, DESIGNER: PLSA PHONE: 949-661-6695

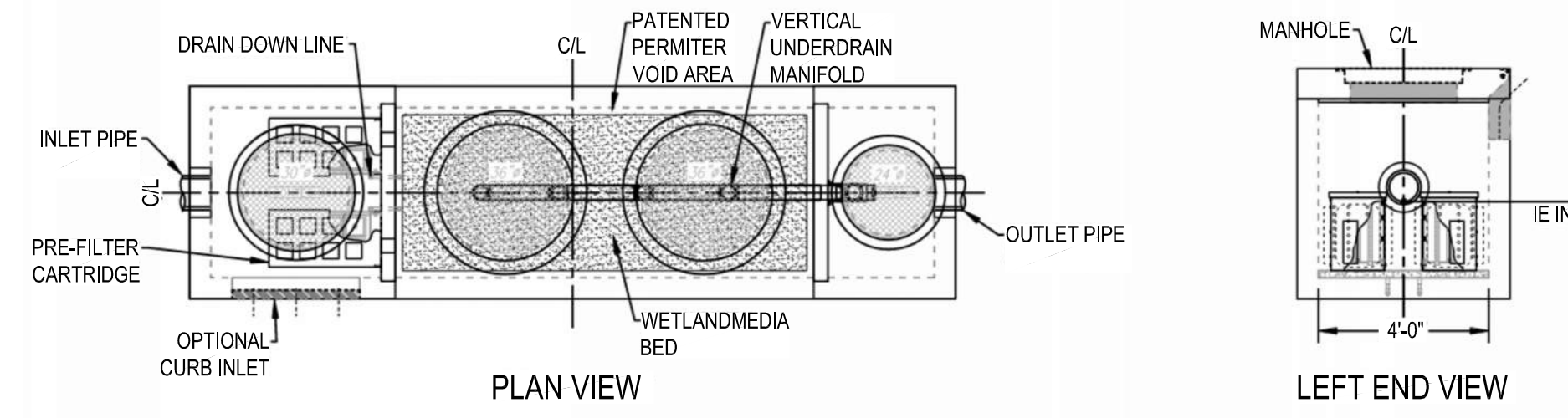
ADDRESS: 34270 PACIFIC COAST HIGHWAY SUITE B, DANA POINT, CA 92629

TYPE OF DEVELOPMENT: RESIDENTIAL, TOWNHOMES

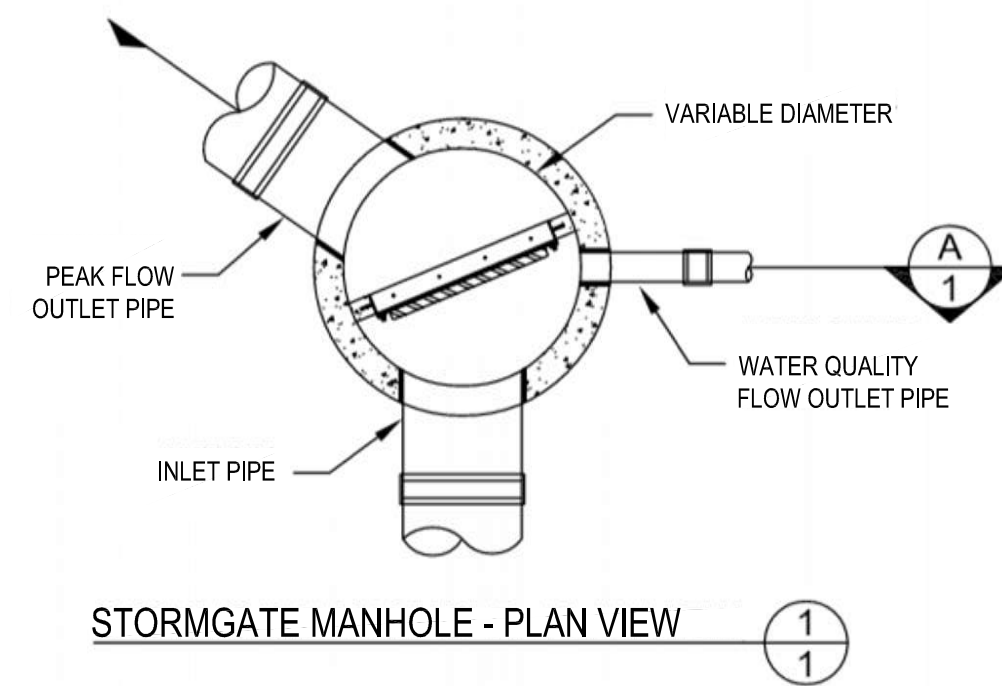
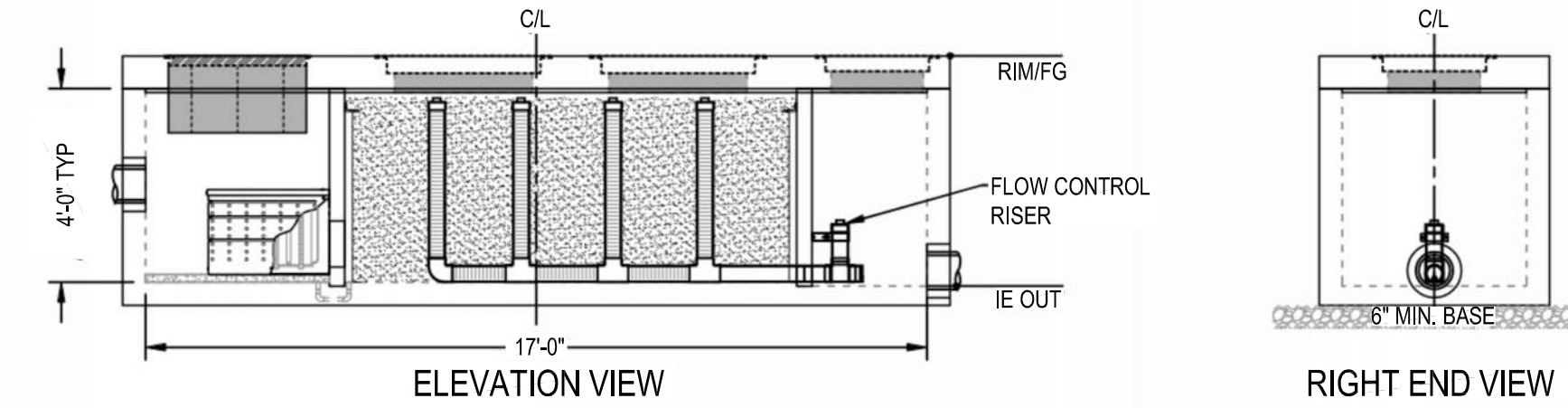
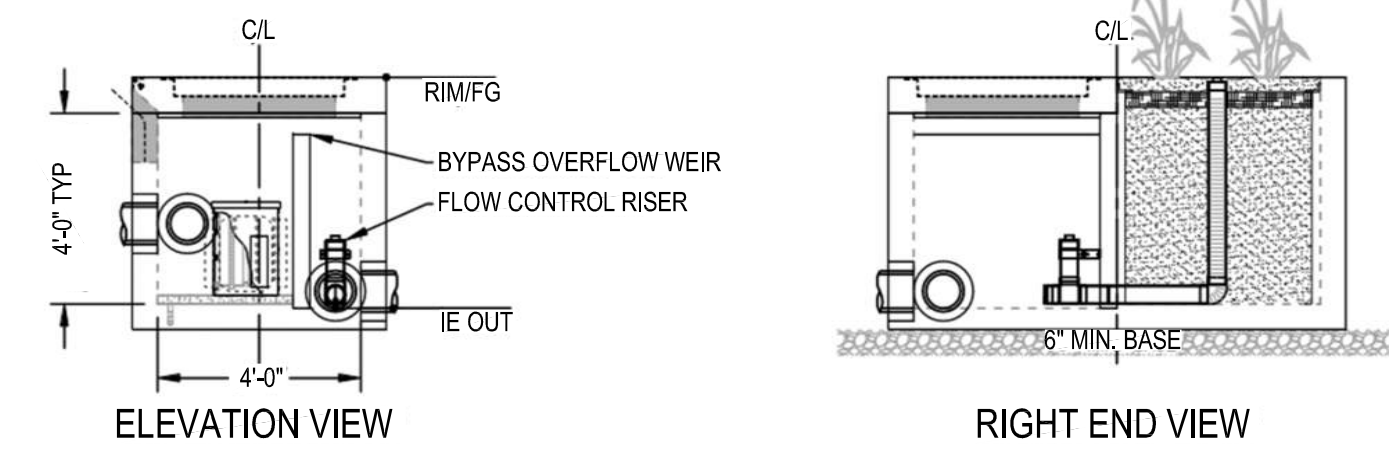
ZONE: MULTIFAMILY RESIDENTIAL (R-3-B) APN(S): 217-161-17, -18, -19



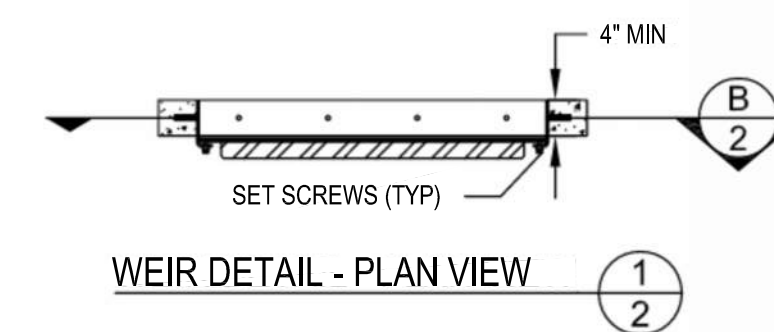
TYPICAL BIOFILTRATION SYSTEM (WITH INTERNAL BYPASS)
NOT TO SCALE



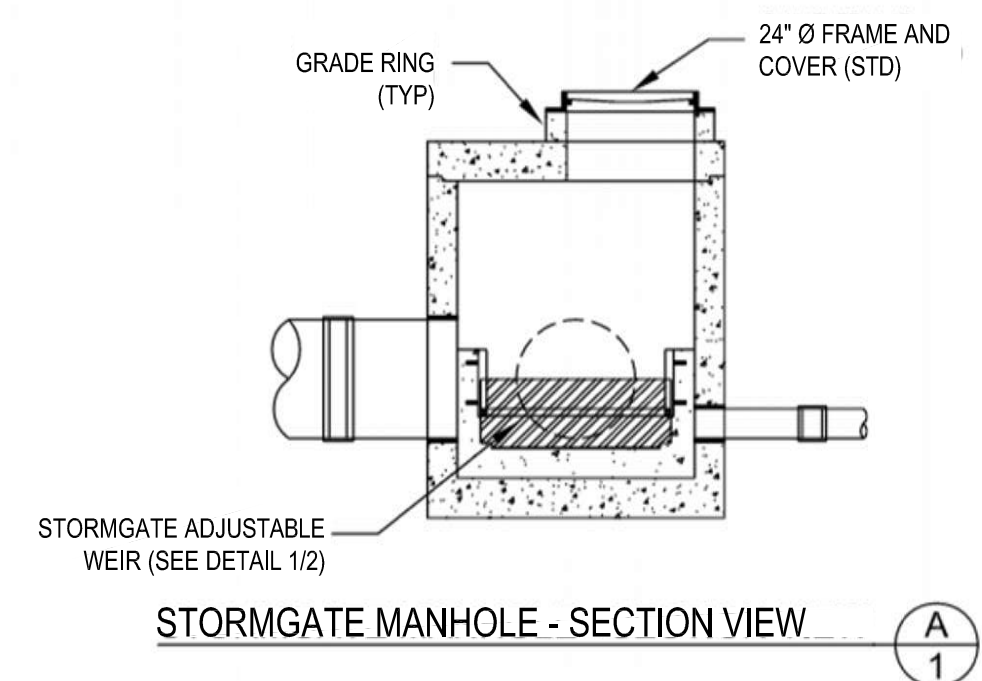
TYPICAL BIOFILTRATION SYSTEM (WITHOUT INTERNAL BYPASS)
NOT TO SCALE



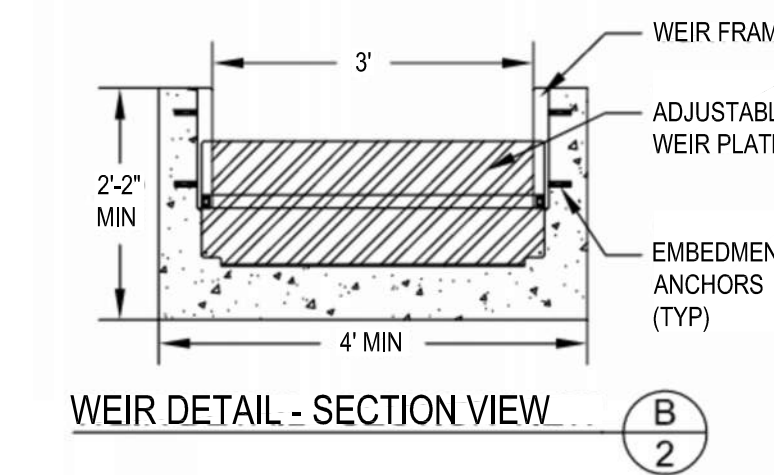
STORMGATE MANHOLE - PLAN VIEW



WEIR DETAIL - PLAN VIEW



STORMGATE MANHOLE - SECTION VIEW

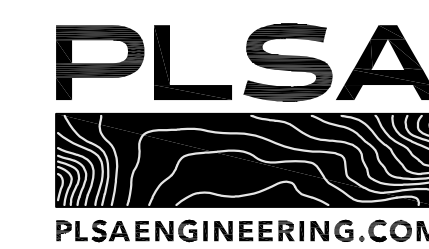


WEIR DETAIL - SECTION VIEW

TYPICAL "STORMGATE" WEIR BYPASS DETAIL
NOT TO SCALE

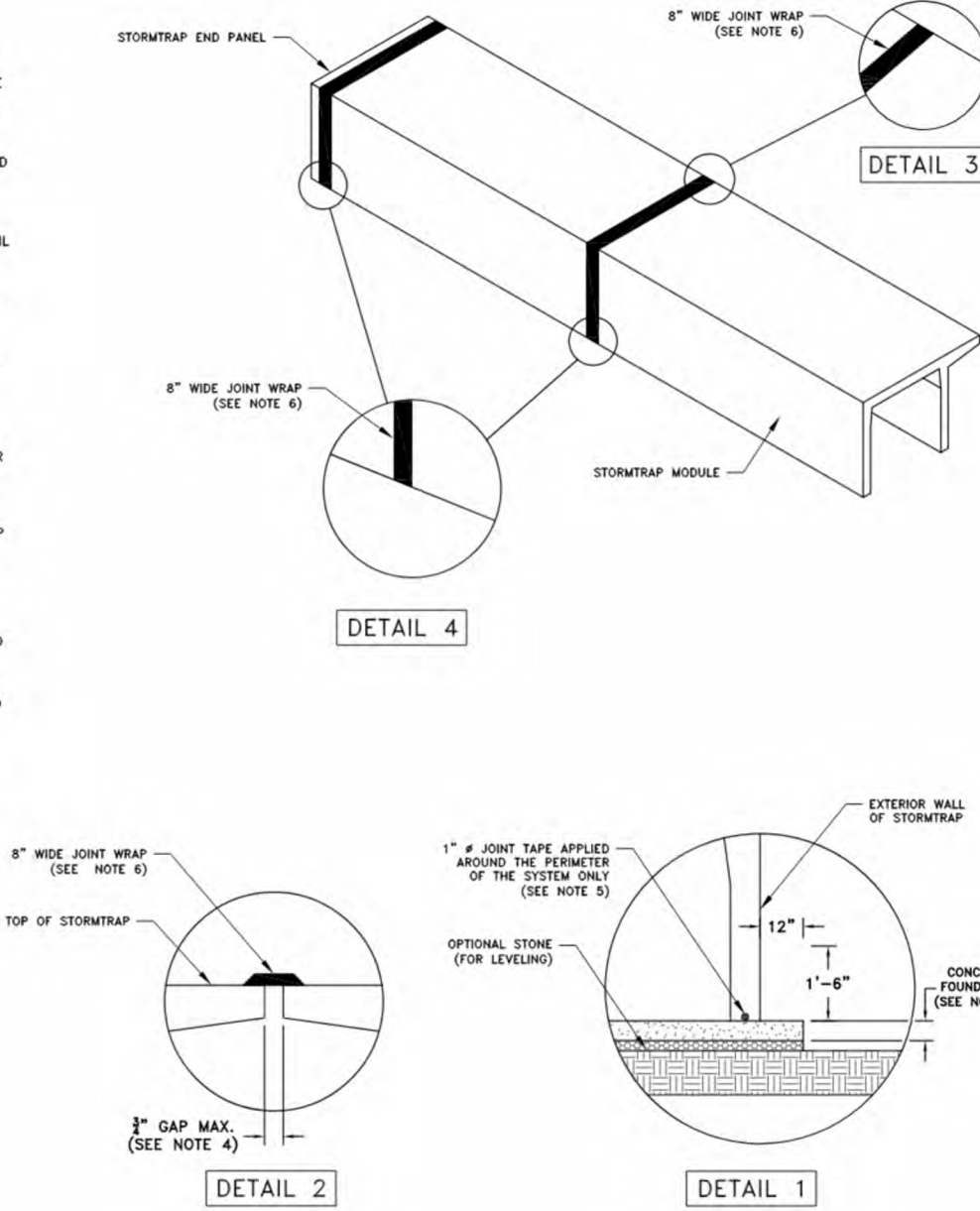
| SITE DATA | | COVERAGE % | | DWELLING UNITS | | OPEN SPACE DATA | |
|-----------|----------------|-------------|------------|----------------|-------------|-----------------|--|
| LOT: | AREA (SQ. FT.) | BUILDING: | COVERAGE % | STUDIO | COMMON (SF) | PRIVATE (SF) | |
| 113,209 | 100% | 1 BDRM | - | 14,795 | 21,610 | | |
| 38,672 | 34% | 2 BDRM | - | | | | |
| 35,778 | 32% | 3 BDRM | 46 | | | | |
| 0 | 0% | 4 BDRM | - | | | | |
| 38,759 | 34% | TOTAL UNITS | 46 | | | | |

| PARKING | | ORD. REQ. | | DRIVEWAY (SIZE & SLOPE) | | SETBACKS | |
|---------|---------|-----------|-------------------------|-------------------------|------------|-----------|--|
| GARAGE | LOADING | ORD. REQ. | DRIVEWAY (SIZE & SLOPE) | ONE WAY: N/A | FRONT: 15' | REAR: 10' | |
| 92 | 0 | 0 | ONE WAY: N/A | | | | |
| 14 | 1 | 1 | TWO WAY: 24' MIN | L. SIDE: 10' | | | |
| 0 | | | SLOPE: VARIES | R. SIDE: 10' | | | |
| 0 | TOTAL | 107 | | | | | |



STORMTRAP INSTALLATION SPECIFICATION

- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C919 (STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES). THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS ARE PROVIDED FOR EMPHASIS. THE MENTION OF THESE ITEMS DOES NOT PRECLUDE THE INSTALLING CONTRACTOR FROM FOLLOWING ASTM C919 IN ITS ENTIRETY IMPLEMENTING ALL APPROPRIATE MEASURES. THE INSTALLING CONTRACTOR OWNS AND IS RESPONSIBLE FOR THE STORMTRAP SYSTEM UPON REMOVAL OF THE MODULES FROM THE PROJECT. FINAL CONSTRUCTION SHALL BE ACCORDING TO THE CONSTRUCTION SPECIFICATIONS AND SHALL BE FULLY BACKFILLED AND WITH FINAL FINISHES. THE CONTRACTOR IS RESPONSIBLE FOR ANY COUNTERTOP MEASURES NECESSARY TO RESIST SPLUT/BOVANTS BEFORE FINAL CONSTRUCTION IS ACHIEVED.
- IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO ENSURE THAT PROPER/ADEQUATE EQUIPMENT IS USED TO SET/PULL THE MODULES.
- STORMTRAP MODULES SHALL BE PLACED ON A LEVEL CONCRETE FOUNDATION (SEE SHEET 2.1) WITH A 1'-0" OVERLAP ON ALL SIDES THAT SHALL BE POWERED IN PLACE BY INSTALLING CONTRACTOR. A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED BY OWNER TO PROVIDE ASSISTANCE IN EVALUATING THE EXISTING SOIL CONDITIONS TO DETERMINE THE SOIL BEARING PRESSURE MEETS OR EXCEEDS THE STRUCTURAL DESIGN LOADING CRITERIA AS SPECIFIED ON SHEET 1.1.
- THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MINIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 1" (SEE DETAIL 2). IF THE SPACE EXCEEDS 1", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
- THE PERMITTED VERTICAL JOINT BETWEEN THE STORMTRAP MODULES AND THE CONCRETE FOUNDATION SHALL BE SEALED TO THE FOUNDATION WITH PRE-FORMED MASTIC JOINT SEALS ACCORDING TO ASTM C919, 8.5 AND 8.1.2 (SEE DETAIL 1). THE MASTIC JOINT TYPE DOES NOT PROVIDE A WATERSTOP SEAL.
- ALL EXTERIOR ROOF AND EXTERIOR VERTICAL WALL JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH 1" WIDE PRE-FORMED, COLLOID-APPLIED, SELF-ADHERING ELASTOMERIC REIN. BONDED TO A WOVEN MONOLY FIBRE REINFORCED POLYMER WRAP CONFORMING TO ASTM C919 AND SHALL BE INTEGRATED WITH PRIMER SEALANT AS APPLIED BY STORMTRAP. THE JOINT WRAP DOES PROVIDE A WATERSTOP SEAL. THE SOLE PURPOSE OF THE JOINT WRAP IS TO PROVIDE A JOINT AND SOIL JOINT SYSTEM. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE JOINT WRAP IS TO BE APPLIED.
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (ADHESIVE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
 - IF THE CONTRACTOR NEEDS TO CANCEL ANY SHIPMENTS, THEY MUST DO SO 48 HOURS PRIOR TO THEIR SCHEDULED ARRIVAL AT THE JOB SITE. IF CANCELLATION AFTER THAT TIME, PLEASE CONTACT THE PROJECT MANAGER.
- IF THE STORMTRAP MODULES IS DAMAGED IN ANY WAY FROM DURING OR AFTER INSTALLATION, STORMTRAP MUST BE CONTACTED IMMEDIATELY TO ASSESS THE DAMAGE AND DETERMINE WHETHER OR NOT THE MODULES WILL NEED TO BE REPLACED. IF ANY DAMAGE OCCURS AT THE PROJECT SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY IMMEDIATELY. ANY DAMAGE NOT REPORTED BEFORE THE TRUCK IS UNLOADED WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- STORMTRAP MODULES CANNOT BE ALTERED IN ANY WAY AFTER MANUFACTURING WITHOUT WRITTEN CONSENT FROM STORMTRAP.



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PROJECT INFORMATION:
 South Santa Fe Townhomes-BMP 1B

San Marcos, CA
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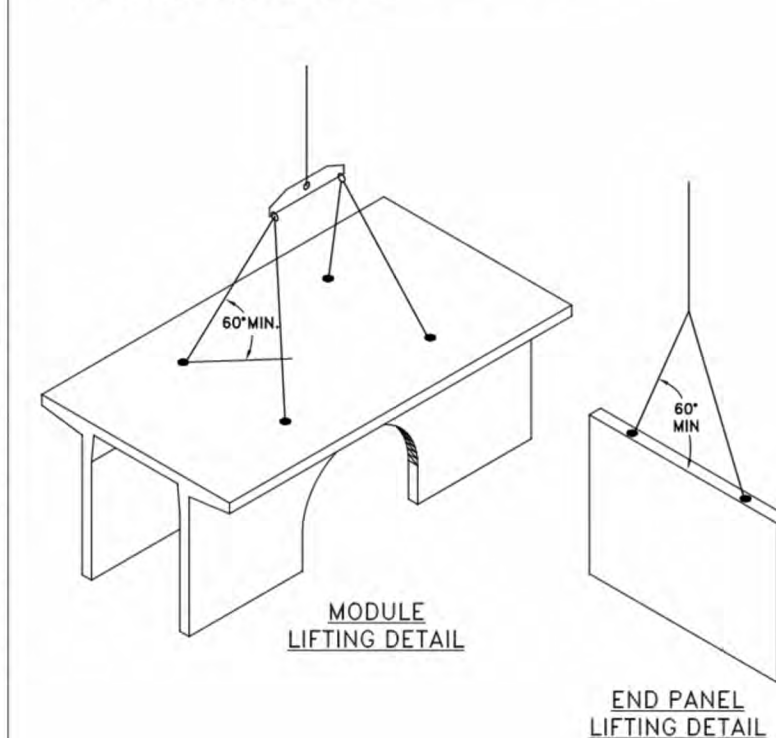
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SHEET TITLE:
 SINGLETRAP INSTALLATION SPECIFICATION

SHEET NUMBER:
3.0

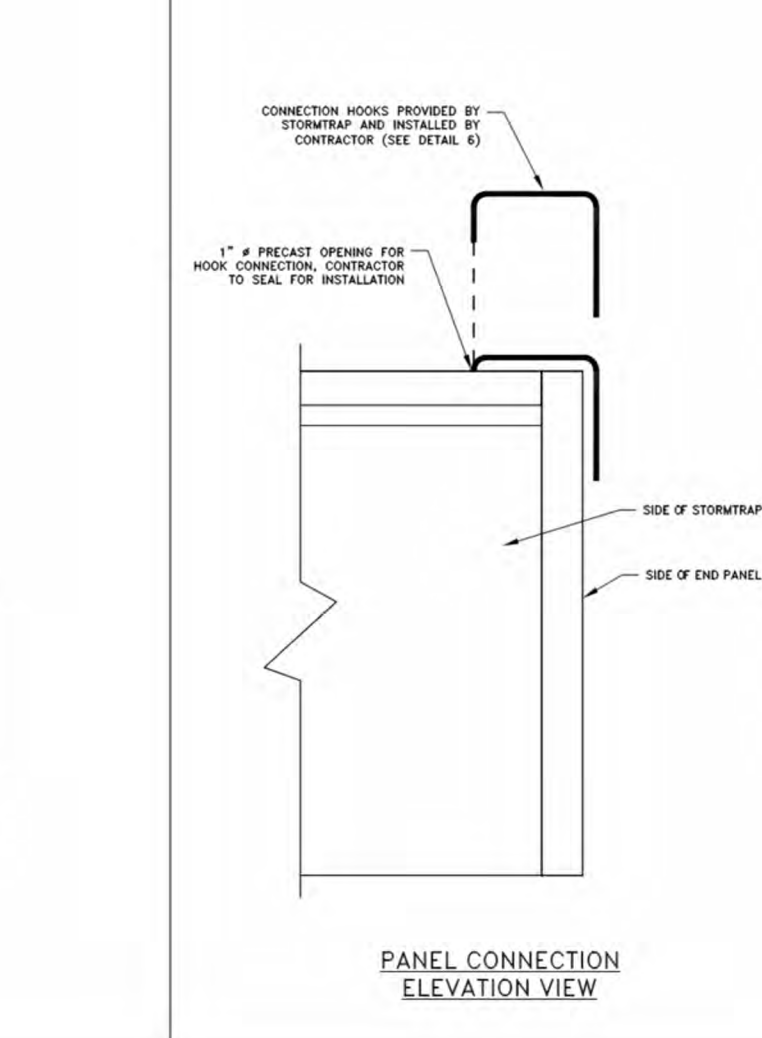
STORMTRAP MODULE LIFTING SPECIFICATION

- IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL (A) CHAIN/CABLES ARE SECURED PROPERLY TO THE LIFTING ANCHORS AND IN EQUAL TENSION WHEN LIFTING THE STORMTRAP MODULE.
- MINIMUM 7'-0" CHAIN/CABLE LENGTH TO BE USED TO LIFT STORMTRAP MODULES (SUPPLIED BY CONTRACTOR).
- CONTRACTOR TO ENSURE MINIMUM LIFTING ANGLE IS 60° FROM TOP SURFACE OF STORMTRAP MODULE. (SEE DETAIL 5).
- IT IS UNDERSTOOD AND AGREED THAT AT ALL TIMES DURING WHICH HOISTING AND RIGGING EQUIPMENT IS BEING SUPPLIED TO THE PURCHASER, OPERATOR OF SUCH EQUIPMENT SHALL BE IN CHARGE OF HIS ENTIRE EQUIPMENT AND SHALL SUGGESTION TO HIM FROM THE SELLER, ITS AGENTS OR EMPLOYEES. PURCHASER AGREES TO WAIVE AND HOLD HARMLESS SELLER FROM ALL LIABILITY, CLAIM, DEMANDS OR CAUSES OF ACTION, WHICH MAY ARISE FROM THE EXISTENCE OR OPERATION OF SAID EQUIPMENT.



END PANEL ERECTION/INSTALLATION SPECIFICATION

- END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.
- PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL LOCATIONS).
- CONNECTION HOOPS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANELS TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
- ONCE CONNECTION HOOP IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.
- JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).



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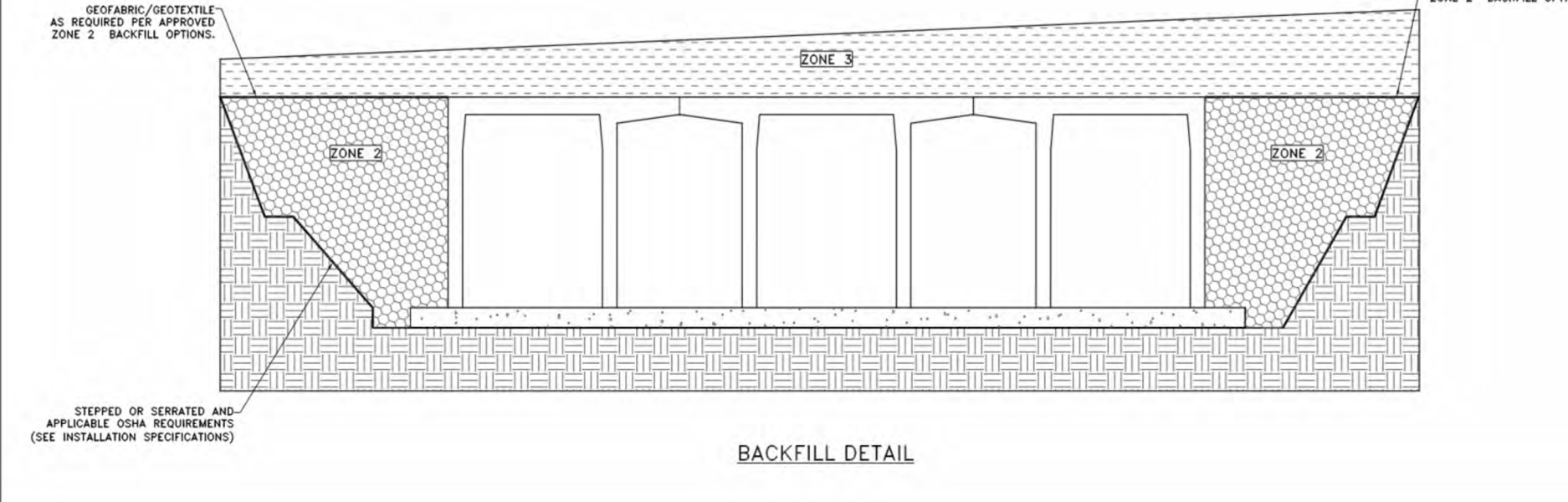
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SHEET TITLE:
 SINGLETRAP INSTALLATION SPECIFICATION

SHEET NUMBER:
3.1

| ZONE | ZONE DESCRIPTIONS | REMARKS |
|--------|---------------------|---|
| ZONE 2 | BACKFILL | UNIFIED SAND CLASSIFICATION (NO. 10, 20, 40, 60) OR SEE BELOW FOR APPROVED BACKFILL OPTIONS |
| ZONE 3 | FINAL COVER OVERTOP | MATERIALS NOT TO EXCEED 120 PPF |

| DESIGN | REMARKS |
|----------------------------|---|
| STONE AGGREGATE | THE STONE AGGREGATE SHALL CONSIST OF CLEAN AND FREE DRAINING ANGULAR MATERIAL. THE SIZE OF THE MATERIAL SHALL HAVE 100% PASSING THE 1" SIEVE AND 10% TO 20% PASSING THE #4 SIEVE. THE MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE OR GEOTEXTILE WITH 1" SIEVE. THE MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE OR GEOTEXTILE WITH 1" SIEVE. |
| SAND | IMPROVED FINE SAND IS PERMITTED TO BE USED AS BACKFILL IF IT IS CLEAN AND FREE DRAINING. SAND AND SIZES FOR BACKFILLING SHALL HAVE LESS THAN 4% PASSING AND 85% AND LESS THAN 10% PASSING THE #4 SIEVE. THE MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE OR GEOTEXTILE WITH 1" SIEVE. |
| CRUSHED CONCRETE AGGREGATE | CLEAN FREE DRAINING CRUSHED CONCRETE AGGREGATE MATERIAL CAN BE USED AS BACKFILL FOR STORMTRAP MODULES. THE SIZE OF THE MATERIAL SHALL HAVE 100% PASSING THE 1" SIEVE WITH 10% TO 20% PASSING THE #4 SIEVE. THE MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE OR GEOTEXTILE WITH 1" SIEVE. |
| ROAD PAVK | STONE AGGREGATE 100% PASSING THE 1 1/2" SIEVE WITH LESS THAN 12% PASSING THE #40 SIEVE (ATX SIZE RANGE) GEOTEXTILE AS PER GEOTECHNICAL ENGINEER RECOMMENDATION. |



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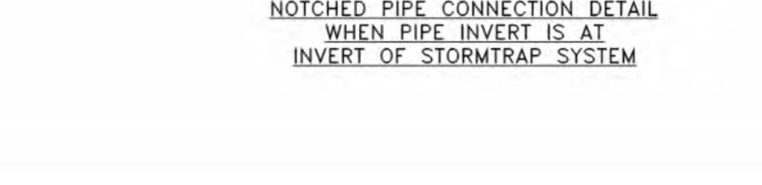
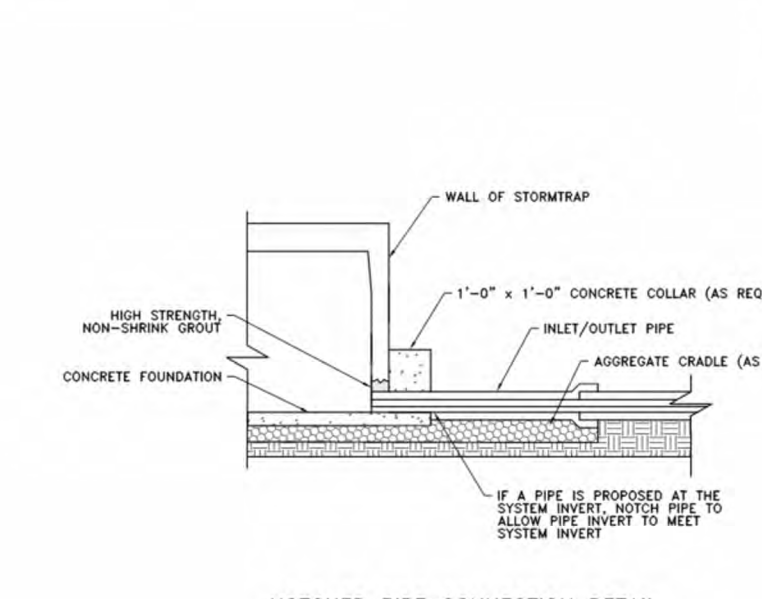
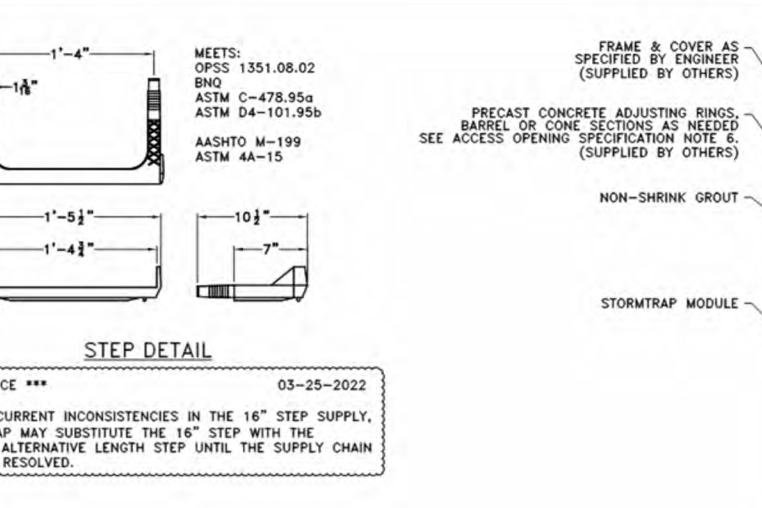
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SHEET TITLE:
 SINGLETRAP BACKFILL SPECIFICATION

SHEET NUMBER:
4.0

ACCESS OPENING SPECIFICATION

- A TYPICAL ACCESS OPENING FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 4'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST BE AT LEAST 2'-0" OF CLEARANCE FROM THE END OF THE STORMTRAP MODULE UNLESS NOTED OTHERWISE. ALL ACCESS OPENINGS TO BE LOCATED ON INSIDE LED UNLESS OTHERWISE SPECIFIED. (SEE SHEET 2.0 FOR SIZES AND LOCATIONS).
- UNLESS OTHERWISE SPECIFIED, PLASTIC COATED STEEL STEPS PROVIDED BY M.A. INDUSTRIES PART #PS3-PPC OR APPROVED EQUAL (SEE STEP DETAIL) ARE PROVIDED INSIDE ANY MODULE WHERE DEEDED NECESSARY. THE HIGHEST STEP IN THE MODULE IS TO BE PLACED A DISTANCE OF 1'-0" FROM THE INSIDE EDGE OF THE STORMTRAP MODULE. ALL WALKING STEPS SHALL BE PLACED AT A DISTANCE BETWEEN 18" AND 14" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE MODULE.
- STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO AVOID INTERFERENCE WITH ACCESS OPENINGS OR THE CENTER OF GRAVITY OF THE MODULE AS NEEDED.
- STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
- ACCESS OPENINGS SHOULD BE LOCATED IN ORDER TO MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST TWO ACCESS OPENINGS PER SYSTEM FOR ACCESS AND INSPECTION.
- USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2' TO USE PRECAST BARREL OR CONE SECTIONS. (PROVIDED BY OTHERS)



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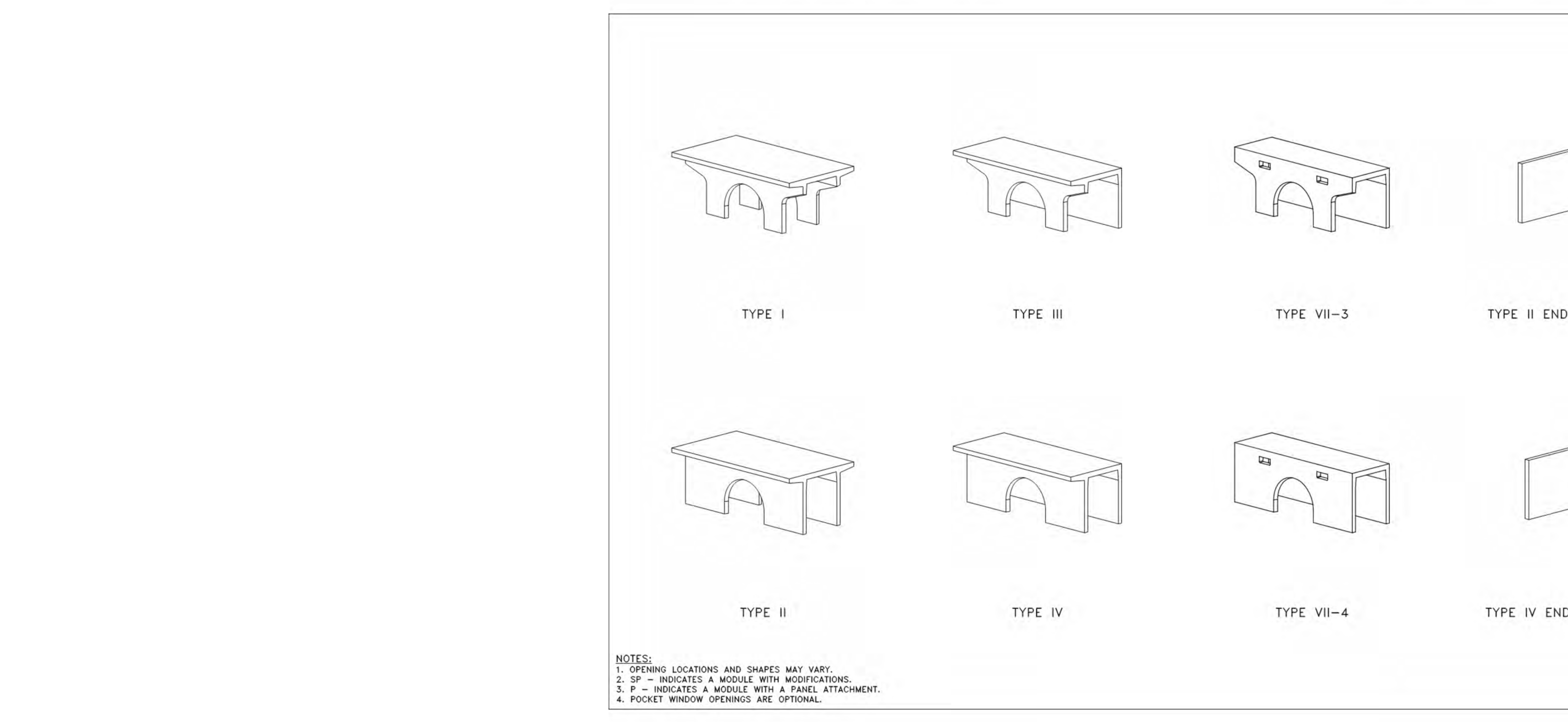
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SCALE:
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SHEET TITLE:
 PIPE / ACCESS OPENING SPECIFICATION

SHEET NUMBER:
5.0



- NOTES:
 1. OPENING LOCATIONS AND SHAPES MAY VARY.
 2. SP - INDICATES A MODULE WITH MODIFICATIONS.
 3. P - INDICATES A MODULE WITH A PANEL ATTACHMENT.
 4. POCKET WINDOW OPENINGS ARE OPTIONAL.

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SHEET TITLE:
 SINGLETRAP MODULE TYPES

SHEET NUMBER:
6.0

| SITE DATA | | DWELLING UNITS | | OPEN SPACE DATA | |
|----------------|------------|------------------------|-----------------|-----------------|---------------|
| AREA (SQ. FT.) | COVERAGE % | STUDIO | - | COMMON (SF) | PRIVATE (SF) |
| LOT: | 113,209 | 100% | 1 BDRM | - | 14,795 21,610 |
| BUILDING: | 38,672 | 34% | 2 BDRM | - | - |
| PARKING/PVMT: | 35,778 | 32% | 3 BDRM | 46 | - |
| LOADING: | 0 | 0% | 4 BDRM | - | - |
| LANDSCAPING: | 38,759 | 34% | TOTAL UNITS | 46 | - |
| PARKING | ORD. REQ. | DRIVEWAY (SEE S SLOPE) | SETBACKS | | |
| GARAGE | 92 | LOADING | ONE WAY-W/A | FRONT: 10' | REAR: 10' |
| GUEST | 14 | HANDICAP | TWO WAY-24' MIN | L. SIDE: 10' | - |
| OPEN | 0 | TOTAL | SLOPE-VARIES | R. SIDE: 10' | - |



"STORMTRAP" DETENTION VAULTS 1B, 2B, 3B, 4B - TYPICAL DETAILS